



HILLINGDON  
LONDON



## North Planning Committee

**Date:** THURSDAY, 5 AUGUST  
2010

**Time:** 7.00 PM

**Venue:** COMMITTEE ROOM 5 -  
CIVIC CENTRE, HIGH  
STREET, UXBRIDGE UB8  
1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

### To Councillors on the Committee

Eddie Lavery (Chairman)  
Alan Kauffman (Vice-Chairman)  
Anita MacDonald, Deputy Leader of the  
Labour Group  
Michael Markham  
Carol Melvin  
David Payne  
David Allam

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reports can be made available  
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further information.**

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This Agenda is available online at:  
<http://lbh-modgov:9071/ieListMeetings.aspx?CId=123&Year=2009>

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# Useful information

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## A useful guide for those attending Planning Committee meetings

### Security and Safety information

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### Petitions and Councillors

**Petitions** - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

Representatives of Conservation Area Advisory Panels are also members of the Committees and they advise on applications in their conservation area. They do not vote at Committee meetings

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;

3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;
4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

### About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

## Agenda

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- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

### Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

#### Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	Uxbridge Golf Club, The Drive, Ickenham, 4601/APP/2010/1103	Ickenham;	Remodelling works to Golf Course, consisting of re-contouring of existing land form using imported inert soils, together with extensive landscaping and associated drainage. (Appendices to the Construction Management Plan and the addendum to the Ecological Impact Assessment, Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan.)	9 - 72

#### Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
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7	South Ruislip Library, Plot A, Victoria Road, Ruislip, 67080/APP/2010/1419	South Ruislip;	Erection of a three storey building to provide for a new library, adult learning facilities, 10 one-bedroom flats, together with associated parking and external works (involving demolition of existing library building).	73 - 112
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### Non Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
8	53 Pinn Way, Ruislip, 1244/APP/2009/2425	Eastcote & East Ruislip;	Erection of a two storey rear extension and single storey side extensions.	113 - 120
9	The Ferns, Withy Lane, Ruislip, 6885/APP/2009/2650	West Ruislip;	Demolition of existing industrial building and erection of a block of 5 flats with associated parking (outline application.)	121 - 140
10	8 SUNNINGDALE AVENUE RUISLIP, 19038/APP/2010/770	South Ruislip;	Although this application has not been before Members of the committee at least 5 working days in advance of the meeting, it is considered to warrant urgent action as an appeal against non-determination has now been lodged, and the Local Planning Authority needs to advise the Planning Inspectorate of the determination that would have been made, had the appeal not been lodged, within the appeal time frame.	141 - 166

### Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
11	Harefield Hospital, Hill End Road, Harefield, 9011/APP/2010/1120	Harefield;	Erection of 1 single storey temporary hospital building and clinical waste bin store, involving demolition of existing temporary office and clinical waste bin store.	167 - 186

12	Harefield Hospital, Hill End Road, Harefield, 9011/APP/2010/1121	Harefield;	Demolition of existing temporary office and clinical waste bin store (Application for Conservation Area Consent.)	187 - 192
13	Kylemore House, Hill End Road, Harefield, 46539/APP/2010/1396	Harefield;	Alterations to front boundary to include new gate and fencing involving removal of existing wall, pillars, railings and gates.	193 - 202
14	Kylemore House, Hill End Road, Harefield, 46539/APP/2010/1397	Harefield;	Single storey side extension/conservatory (Retrospective Application).	203 - 210
15	3 Long Lane, Ickenham, 64180/APP/2010/330	Ickenham;	Conversion of integral garage to habitable space with new window and wall to front, rebuilding of ground floor front wall to two storey side extension and retention of enlarged dormer window to front elevation.	211 - 218
16	84 & 84A Long Lane, Ickenham, 3231/APP/2009/555	Ickenham;	Erection of a new two storey building with front, side and rear dormer windows comprising of 9 two- bedroom units and 1 one- bedroom unit (involving demolition of two existing buildings.)	219 - 246
17	111 West End Road, Ruislip, 63665/APP/2010/1034	Manor;	Installation of vehicular crossover to front	247 - 254
18	Land forming part of 327 Victoria Road, Ruislip, 54831/APP/2010/171	Manor;	Erection of a two storey attached dwellinghouse with double garage to rear.	255 - 268
19	20 Joel Street, Northwood, 66826/APP/2010/358	Northwood ;	Change of use from retail (Class A1) to cafe (Class A3)	269 - 278

## **Part 2 - Members Only**

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Par 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended.

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- 20 ENFORCEMENT
- 21 ENFORCEMENT
- 22 Any Items Transferred from Part 1
- 23 Any Other Business in Part 2

## **Plans for North Planning Committee**

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## DRAFT Minutes

### NORTH PLANNING COMMITTEE

15 July 2010

Meeting held at Committee Room 5 - Civic Centre,  
High Street, Uxbridge UB8 1UW



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	<p><b>Committee Members Present:</b> Councillors Eddie Lavery (Chairman), David Allam (Labour Lead), Janet Duncan, Alan Kauffman, Michael Markham, Carol Melvin, David Payne</p> <p><b>LBH Officers Present:</b> James Rodger (Head of Planning and Enforcement) Meg Hirani (North Area Team Leader) Syed Shah (Principal Highways Engineer) Sarah White (Legal Advisor) Charles Francis (Democratic Services Officer)</p>
1.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Cllr Anita MacDonald substitute Cllr Janet Duncan</p>
2.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>Councillor Carol Melvin declared a personal and prejudicial interest in Item 10 '18 Church Road, Northwood' as she had discussed the application with residents. She left the room and did not vote on this item.</p>
3.	<p><b>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING</b> (<i>Agenda Item 3</i>)</p> <p>The minutes of 22<sup>nd</sup> June 2010 were agreed as a correct record.</p>
4.	<p><b>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT</b> (<i>Agenda Item 4</i>)</p> <p>None.</p>
5.	<p><b>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE</b> (<i>Agenda Item 5</i>)</p> <p>It was confirmed that all items would be considered in public with the exception of Item 16 - Enforcement, which was considered in private.</p>

6.	<p><b>81 ABBOTSBURY GARDENS, EASTCOTE - 38458/APP/2009/1527</b> (Agenda Item 6)</p> <p><b>Part single storey, part two storey side/rear/front extensions, involving demolition of existing side/rear extensions.</b></p> <p><b>38458/APP/2009/1527</b></p> <p>In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.</p> <p>Points raised by the petitioner:</p> <ul style="list-style-type: none"> <li>• The proposal will increase the ground floor from 62m<sup>2</sup> to 127m<sup>2</sup> which will not conform to HDAS guidance and will be an overdevelopment of the site.</li> <li>• The proposed 3.6m extension is too large</li> <li>• The block plans are incorrect and show the side boundary, and a wooden fence delineates the boundary and not the side boundary</li> <li>• The proposal will exceed the current building line.</li> <li>• The proposed development will result in unneighbourly development and adversely effect nearby properties through over dominance, visual intrusion, overlooking and over shadowing.</li> <li>• The proposed roof extension is not at the same ridge height as the main building, when it should be lower in height than the main ridge.</li> <li>• Concerns about the drainage and surrounding trees touching the roof.</li> </ul> <p>The Applicant / Agent were not present at the meeting. No Ward Councillors were present.</p> <p>Members sought further clarification about the location of the garage and the extent of the surrounding trees and hedgerows. Officers explained the position of the garage would be identical and mature shrubs would not constrain the development.</p> <p>It was moved and seconded that the application be approved. On being put to the vote, approval was agreed by five votes in favour and one abstention.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as set out in the officer's report and addendum</b></p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>
7.	<p><b>THE BUNGALOW, NEW YEARS GREEN LANE, HAREFIELD - 29665/APP/2010/617</b> (Agenda Item 7)</p>	<p><b>Action by</b></p>

	<p><b>Construction of a temporary Civic Amenity Facility for use during redevelopment of the Harefield Civic Amenity Site, including temporary change of use of bungalow to office and staff welfare facility.</b></p> <p><b>29665/APP/2010/617</b></p> <p>Members discussed the application and agreed it was important the Green Belt was protected and in particular those species indigenous to the site. In answer to a query about the access road, Officers explained that earth mounds would be used to delineate the edge of the road surface instead of fencing.</p> <p>Members discussed the implications of Condition 4 at length and sought assurances about the longevity of the access road and the steps that might be required if pollutants were discovered. Officers explained that Conditions 19 and 20 in the officer's report addressed these concerns.</p> <p>It was moved and seconded that the application be approved. On being put to the vote, approval was unanimously agreed as set out in the officer's report and addendum sheet with the precise details of Condition 4 to be agreed by the Chairman in consultation with the Labour Lead.</p> <p><b>Resolved –</b></p> <p><b>That the application be Approved as per the agenda and addendum.</b></p> <p><b>Details of Condition 4 will need to be agreed in consultation with the Chairman and Labour Lead.</b></p>	<p>Meg Hirani &amp; James Rodger</p>
<p>8.</p>	<p><b>WHITE HEATH FARM, HILL END ROAD, HAREFIELD - 21558/APP/2009/1949</b> (<i>Agenda Item 8</i>)</p> <p><b>Erection of a detached cattle shed.</b></p> <p><b>21558/APP/2009/1949</b></p> <p>Members discussed the application and asked officers about the likely visual impact of the proposal and the location of the silage tower. In response to these queries, Officers explained that a degree of new planting was proposed to screen the application from residential properties. Officers confirmed that the silage tower would remain in its current location.</p> <p>Member's raised the topic of animal welfare and enquired whether the cattle would be confined to the shed for the duration of their lives or if the intention was to use this for a combination of feed storage and housing in bad weather. In response, Officers explained the proposal was an addition to the current farm complex and they understood that the herd would not be increased and the cattle would be kept outside for the majority of the time. Member's requested that an additional</p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>

	<p>informative be added to safeguard animal welfare.</p> <p><b>Resolved –</b></p> <p><b>That the application be Approved as set out in the officer’s report and addendum with an additional informative relating to cattle welfare to follow.</b></p>	
9.	<p><b>36 HIGHFIELD DRIVE, ICKENHAM - 12536/APP/2009/1896</b> (<i>Agenda Item 9</i>)</p> <p><b>Erection of a two storey four-bedroom detached dwelling with habitable roofspace and associated parking, involving demolition of existing dwelling.</b></p> <p><b>12536/APP/2009/1896</b></p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be Approved as set out in the officer’s report and addendum sheet.</b></p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>
10.	<p><b>18 CHURCH ROAD, NORTHWOOD - 6532/APP/2010/235</b> (<i>Agenda Item 10</i>)</p> <p><b>Single storey side and rear extension involving the demolition of existing garage to rear.</b></p> <p><b>6532/APP/2010/235</b></p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be Refused as set out in the officer’s report.</b></p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>
11.	<p><b>20 JOEL STREET, NORTHWOOD - 66826/APP/2010/358</b> (<i>Agenda Item 11</i>)</p> <p><b>Change of use from retail (Class A1) to cafe (Class A3).</b></p> <p><b>66826/APP/2010/358</b></p> <p>Members discussed the application and asked officers how long the premises had been empty. Officers explained that the property had been vacant for two years.</p> <p>Members referred to the current economic climate and agreed it was important for the vitality of the local area that it was not left with another</p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>

	<p>empty shop. The Committee decided to defer the item and asked officers to bring back a set of conditions for the Committee to discuss at the next meeting.</p> <p>It was moved, seconded and approved that the application be deferred until the next meeting.</p> <p><b>Resolved –</b></p> <p><b>That the application be Deferred, to be reported back to next committee with a list of possible conditions if approved.</b></p>	
12.	<p><b>BUILDERS YARD, JOEL STREET, NORTHWOOD - 16194/APP/2009/2214</b> (<i>Agenda Item 12</i>)</p> <p><b>Single storey building for use as office sales desk, showroom and storage facility, external storage racking and associated parking (involving demolition of existing buildings and telecommunications mast and compound).</b></p> <p><b>16194/APP/2009/2214</b></p> <p>Members discussed the application which the officer report acknowledged represented inappropriate development within the Green Belt. Officers introduced the report and explained that very special circumstances had been demonstrated in this case.</p> <p>Members were concerned about the size, scale and bulk of the proposed replacement building and suggested that if this were approved, it would represent a dangerous precedent for future development.</p> <p>While Members accepted that the proposal would tidy the site and that it had been a builder's yard for more than 30 years, the Committee considered a 72% increase in the footprint of the site to represent an inappropriate development within the Green Belt which would impact on the surrounding area.</p> <p>It was moved, seconded and on being out to the vote agreed by two in favour and four against that the application be refused.</p> <p><b>Resolved –</b></p> <p><b>That the officer recommendation be overturned and application refused on the grounds of inappropriate development in the Green Belt and size, scale and bulk of the proposed building and its impact visually. Wording for reasons to be agreed with the Chairman and Labour Lead.</b></p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>
13.	<p><b>24 CROFT GARDENS, RUISLIP - 45820/APP/2010/1061</b> (<i>Agenda Item 13</i>)</p>	<p><b>Action by</b></p>

	<p><b>Single storey side extension, first floor side extension and single storey rear extension.</b></p> <p><b>45820/APP/2010/1061</b></p> <p>The Chairman referred to a letter which had been tabled by a local resident and addressed to him and the Labour Lead. He explained that the Committee could not modify the application (as requested) but only determine the proposal as set out in the officer's report.</p> <p>The recommendation for Approval was moved, seconded and on being put to the vote was unanimously approved.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as set out in the officer's report.</b></p>	<p>Meg Hirani &amp; James Rodger</p>
<p>14.</p>	<p><b>1 THE GREENWAY, ICKENHAM - 66229/APP/2010/460</b> (<i>Agenda Item 14</i>)</p> <p><b>Part single storey, part two storey rear extension and first floor side extension with ground floor drive through.</b></p> <p><b>66229/APP/2010/460</b></p> <p>Members discussed the proposal and asked officers for further clarification about the required distance where a two or more storey development abutted a property or its boundary. Officers confirmed that the guidance stated that this distance should be 15 metres to avoid possible over-domination and that in this case, the distance was 14 metres.</p> <p>Members also had concerns about the first floor side window, facing 77High Road and access to the rear garage. Officers explained that this was a secondary window which had been conditioned to be fitted with obscure glass to prevent overlooking and the exit and egress passageway to the garage was 2.2metres wide, which was wider than the current garage door.</p> <p>The recommendation for Approval was moved, seconded and on being put to the vote was agreed with five Members in favour, with one against.</p> <p><b>Resolved –</b></p> <p><b>That the application be Approved as set out in the officer's report.</b></p>	<p><b>Action by</b></p> <p>Meg Hirani &amp; James Rodger</p>
<p>15.</p>	<p><b>S106 QUARTERLY MONITORING REPORT - UP TO 31 MARCH 2010</b> (<i>Agenda Item 15</i>)</p> <p>Members received a report updating them on the current position in relation to S106 agreements.</p> <p>It was moved, seconded and on being put to the vote was agreed that</p>	<p><b>Action by</b></p>

	the report be noted. <b>Resolved – That the report be noted.</b>	
16.	<b>ENFORCEMENT</b> ( <i>Agenda Item 16</i> )  The enforcement report was presented to Members.  It was moved, seconded and approved that enforcement action be taken. On being put to the vote, enforcement was unanimously agreed.  <b>Resolved –</b>  <b>That enforcement action as recommended in the officer’s report be agreed.</b>	<b>Action by</b>  Meg Hirani & James Rodger
	The meeting, which commenced at 7:00 pm, closed at 9:20 pm.	

These are the minutes of the above meeting. For more information on any of the resolutions please contact Charles Francis on 01895 556454. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

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## Report of the Head of Planning & Enforcement Services

**Address** UXBRIDGE GOLF COURSE THE DRIVE ICKENHAM

**Development:** Remodelling works to Golf Course, consisting of re-contouring of existing land form using imported inert soils, together with extensive landscaping and associated drainage. (Appendices to the Construction Management Plan and the addendum to the Ecological Impact Assessment, Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan.)

**LBH Ref Nos:** 4601/APP/2010/1103

**Drawing Nos:** 500.01 Rev B Existing Site Survey  
500.02a Rev D Proposed Grading Plan - North  
500.02b Rev D Proposed Grading Plan - South  
500.03 Rev B Landscape Plan  
500.04a Rev C Cross Sections - North  
500.04b Rev E Cross Sections - South  
500.14 Rev A - Tree Impact  
500.07 Rev - B Drainage  
500.11 Rev B - Elevation Change Plan  
500.10 Rev B - Boundary Plan  
Project Description (Version 3)  
Design and Access Statement (Version 3)  
Impact Statement (Version 3)  
Flood Risk Assessment (Version 3)  
Ecological Impact Assessment (April 2010)  
Arboricultural Impact Assessment (March 2010)  
Potential Impact on Mature Oak Trees Statement (Version 2)  
Biodiversity Mitigation, Management and Monitoring Plan (April 2010)  
Water Management Plan (April 2010)  
500.05 Rev.A - Tree Survey  
500.09 - Viewpoints  
Addendum to the Ecological Impact Assessment, Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan dated 10/6/2010.  
Supporting Statement  
Construction Environmental Management Plan (Issue 5 - July 2010)  
500.08 Rev D - Contractors' works Plan

<b>Date Plans Received:</b>	26/04/2010	<b>Date(s) of Amendment(s):</b>	21/05/0010
<b>Date Application Valid:</b>	21/05/2010		11/06/0010
			21/07/2010
			22/07/2010

### 1. SUMMARY

Planning permission is sought for the remodelling and overhaul of the southern component of the existing golf course and a small section of the northern component of the course through the importation of recycled soil and other recycled inert materials, land-forming, installation of new drainage, planting and subsequent management (with the inclusion of holes outside of the planning application boundary) as an 18 hole golf course.

The key elements of the proposal involves the importation of 134,942m<sup>3</sup> of inert construction material and soil for landscaping and re-contouring purposes, using the existing access off the A40 slip road, for deliveries of the material. It is proposed to remodel the course on a phased basis, extending over an estimated maximum 44 week period. The proposal involves no new buildings but is essentially the creation of a new landscape. This will involve the removal of selected trees and much of the grassland, the importation of inert soil, the creation of new land-form, installation of new drainage, new planting, habitat creation and subsequent management as an 18 hole golf course. The landscape objectives include the retention of individual specimen trees (notably the Oaks), semi-natural woodland, ditches, valley bottom wetland features and footpaths.

The imported material is defined as waste material for planning and environmental purposes and the application has therefore been referred to the Mayor.

43 individual letters of objection and 3 petitions have been received, objecting to the planning application. In addition, objections have been received from Ickenham Residents' Association and The Association of Residents' of The Drive. The principle areas of concern relate to the volume of in-fill, impact on local residents from a potential 150 HGV movements per day on local roads over a period of up to 44 weeks, impact on the Green Belt and landscape character, impact on local ecology and Nature Reserves, disruption to the golf course, concern over the removal of so many mature trees and disruption to the public rights of way.

In addition one letter and a petition supporting the principle of the proposals to improve and restore Uxbridge Golf Course have been received.

The general principle of the development is considered acceptable, as the proposal is for the remodelling and improvements to the existing Golf Course, an appropriate Green Belt use. It is considered that the proposal complies in general with the key theme contained within PPG2, Saved UDP and London Plan Green Belt Policies, by keeping the land permanently open.

In terms of the impact on the Green Belt, the proposed changes to the landform will not result in any new high points, or ridges which would break the skyline, as all newly raised levels will be accommodated generally within the existing range of contours. While significant areas of trees will be removed to accommodate the new landform, the specimen trees and areas of woodland with the greatest visual landscape and ecological value will be retained. Generally, it is considered that the visual impacts of the proposal are unlikely to be of significant detriment to the character of this part of the Green belt and Colne Valley Regional Park.

The application has demonstrated that the proposed development could be completed without detriment to the recognised ecological value of this area, including the adjacent Nature Conservation Sites of Metropolitan or Borough Grade I and II Importance, within which there are designated Nature Reserves and a Site of Special Scientific Interest (Frays Farm Meadows). The application has also overcome concerns raised to the previous application with respect to the impact of the development on the hydrology and water quality in these nature conservation sites and the potential impact on populations of water voles and badgers.

All construction traffic will access and exit the site via the existing A40 slip road, the access used for the recent gas pipeline works, the use of which has been approved in principle by Transport for London. The previous northern access off Skip Lane (via Harvil Road) will not now be required. It is therefore considered unlikely that the proposals

would lead to conditions detrimental to road safety or to traffic congestion on the local road network.

## **2. RECOMMENDATION**

**1. The Council enter into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and all appropriate legislation to secure:**

**(i) Improvements to the public footpath**

**(a) Photographs of the path to be taken before and after construction to record any damage to the route.**

**(b) No blockages, diversion, closure on the path during construction, if needed by Legal Order**

**(c) After completion (or during) any damage to the path be made good**

**(d) Any future enhancements bordering the footpath must be managed to avoid area becoming overgrown and without management.**

**(e) Measures to ensure a safe crossing of the existing public footpath which runs across the site Path to be made as safe as possible during construction, fence etc.**

**(f) Re-surfacing of the route with hogging or a type 2 surface and drainage improvements leading to the Grand Union Canal as part of improvements**

**(ii) A land restoration bond (The exact sum to be confirmed at the meeting)**

**(iii) Implementation of an Environmental Construction Management Plan to include:**

**(a) Details of the soil quality of the imported material (Soil Import Values)**

**(b) Quality protocol as follows;**

**Pre-Authorisation**

**The Characterisation of the material will be carried out prior to the delivery to site to include but not be limited to the following;**

**\* Source and origin of the import material with associated evidence such as Site Investigation reports, Soil Analysis/Testing Certificates, previous site history etc. will be obtained and verified that it is suitable for use**

**\* The process producing the imported material e.g. bulk excavation and location of soils relevant to existing reports.**

**\* The Composition of the import material**

**\* Volume and dates the material is expected from the Producer/Donor site.**

**\* Visit(s) to the Producer/Donor site to inspect material as required to assess the appearance of the import material (including its smell, colour, consistency and physical form).**

**\* Confirmation of the Waste Carrier and the Waste Carrier licence details**

**\* Verification that source material meets agreed Soil Import Values**

**\* Details on the agreed delivery routes, delivery times.**

**Post-Delivery**

**\* All loads to arrive sheeted.**

**\* Each load to produce a fully completed and signed waste carriers note with pre-authorisation reference clearly marked.**

**\* Individual check of each load of import material to confirm its Characteristics (including its smell, colour, consistency and physical form) will be carried out at;**

**1. Point of entry;**

**2. On discharging of load**

**3. During the spread and levelling process.**

- \* Carry out representative chemical soil test at the rate of 1 per 500m<sup>3</sup>
- \* Visit(s) to the producer site as necessary, during the delivery period
- \* A daily log will to be kept of each source of material received (by pre-authorisation reference) and cumulative volume received.
- \* The location of where each material has been placed will be logged using a handheld GPS device. The above details will be held on site and on a database for monthly reporting and archiving purposes.
- \* A final Verification Report will be produced which will be available to the Environment Agency and the Council

(c) Details of independent monitoring during the period of importation of material to ensure quantity/type is requisite to that as approved.

(d) A monthly summary submission of soil source and import information will be made to the Council during the monitoring period.

(e) Testing certificates and source site investigations to be submitted as soon as possible to the Council

(f) The monthly submission shall include the source site details including ground investigations and excavated soil testing, all laboratory testing certificates for soil imports, site inspection comments by the environmental consultant or other suitably experienced person, details of any soils removed, and the locations of soil deposition on site that month. The dates of all testing and inspections shall be clearly recorded.

(g) The final soil verification report referred to in the CEMP shall be submitted to the LPA at the end of the work.

(h) Monitoring and management of import volumes which shall include as built surveys (based on Ordnance Survey datum) to be carried out monthly. The monthly as built surveys will be compared with the agreed Planning levels to enable any discrepancies to be highlighted and corrected. This will be made available to the LBH on a monthly basis

(i) Site Operations, including adherence to considerate constructors' scheme, health and safety legislation and approved working hours

(j) Storage of plant and materials, including a detailed Method Statement clearly identifying correct stripping, soil handling, storage, placement and programming requirements to avoid over compaction and moving the material in unsuitable weather conditions

(k) Traffic Management

(l) Access and routes

(m) Lorry movements

(n) Environmental control measures to control noise, dust, smoke and particulates

(iv) Provision for London Wildlife Trust, their graziers and Natural England to enjoy continued access to the SSSI via the application site, and in the case of the Trust and graziers or contractors carrying out work on their behalf .

2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the Section 106 Agreement and any abortive work as a result of the agreement not being completed.

3. If the above Section 106 Agreement has not been finalised within 6 months, then the application is to be referred back to the Planning Committee for determination at the discretion of the Director of Planning & Community Services.

4. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.

5. That Committee resolve that an Order be made under S257 of the Town and Country Planning Act (as amended) authorising that part of the registered footpath be temporarily stopped up between points 5 metres on either side of the proposed temporary haul road.

6. That subject to the above, the application be deferred for determination by the Director of Planning, Environment and Community Services under delegated powers, subject to the completion of legal agreements under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

7. That if the application is approved, the following conditions be attached:-

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 OM1 Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

**REASON**

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 OM2 Levels**

The development shall be carried out strictly in accordance with the proposed ground levels shown on drawing nos. 500.02a Rev. D, 500.02b Rev. D, 500.04a Rev. C, 500.04b Rev. E.

**REASON**

In order to comply with the terms of the application and to ensure that the development does not injure the open character and visual amenity of the Green Belt, in accordance with Policy OL1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including

their manner of construction.

(v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

#### REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **5 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

### **6 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.

5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- (a) details of planting
- (b) Details of topsoil storage/stockpiling and handling
- (c) Details of the spreading of an even layer of sub soil and top soil over the fill material, specifying the depth and method of placement
- (d) the ripping of any layers of final cover to ensure adequate drainage and aeration
- (e) finished levels
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **8 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development .

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**9 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**10 NONSC Non Standard Condition**

The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) K0148 Rep 3 Rev 0 and the following mitigation measures detailed within the FRA:

1. Limiting the surface water run-off generated by the 1 in 100 year plus climate change critical storm so that it will not exceed the run-off from the undeveloped site and not increase the risk of flooding off-site.

REASON

To prevent the increased risk of flooding to third parties, to the site itself, to improve water quality and to enhance biodiversity, in compliance with Policies OE7 and OE8 of the Hillingdon Unitary development Plan Saved Policies (September 2007) and Policy 4A.17 of the London Plan (February 2008).

**11 NONSC Non Standard Condition**

The materials to be deposited as landfill shall be limited to inert waste as defined in the Landfill (England and Wales) Regulations 2002 and Soil Import Values to be agreed by the Local Planning Authority. The inspection of the imported soils will be carried out in accordance with the Quality Protocol detailed CEMP, the agreed Soil Import Values Report and relevant Statutory Legislation.

REASON

In accordance with the policies of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**12 NONSC Non Standard Condition**

A construction programme in accordance with the approved method statement.

The method statement shall specify the following:

- a) details of the order of construction works and associated work including the sequence and phasing of the earthworks. The details should include a prior estimate of the amount of imported infill material. The amount of infill material shall not exceed the prior estimate without the prior approval of the Local Planning Authority
- b) providing information to all operators of the preferred route
- c) the restoration of hard standings and internal haul roads, other than that approved by this permission
- d) the removal of temporary plant, buildings, structures and machinery

- e) drainage of the land
- f) the final levels
- g) measures to protect and enhance the existing nature conservation interest of the site
- h) the provision of fencing to protect retained trees and hedgerow
- i) the layout of storage areas and temporary site buildings/works compounds
- j) monthly as built surveys will be compared with the agreed Planning levels to enable any discrepancies to be highlighted and corrected. This will be made available to the LBH on a monthly basis.

**13 NONSC Non Standard Condition**

A buffer zone shall be maintained between the proposed land fill and retained woodland and adjacent Nature Reserve.

**REASON**

In order to protect the ecological value of the adjoining sites in compliance with Policies EC1 and EC3 of the Unitary Development Plan Saved Policies (September 2007), London Plan Policy 3D.14 and PPS9 (Biodiversity and Geological Conservation).

**14 NONSC Non Standard Condition**

Any temporary stockpiles of imported landfill materials shall not exceed 5 metres in height and top soil shall not exceed 3 metres in height.

**REASON**

In order to ensure the proposal does not impact on the visual amenities of the surrounding area in compliance with policies BE13, OL1 and OL2 of the Unitary Development Plan Saved Policies (September 2007).

**15 NONSC Non Standard Condition**

The temporary haul road and temporary top soil storage shall be removed at the end of the construction period and the land restored in accordance with the approved landscaping scheme.

**REASON**

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**16 NONSC Non Standard Condition**

Prior to commencement of the development hereby approved, a comprehensive baseline water quality survey, to establish current conditions and fully inform the subsequent water quality monitoring regime and feedback mechanisms shall be submitted to and be approved by the Local Planning Authority.

**REASON**

To ensure that possible impacts on the adjoining SSSI can be responded to effectively, to improve water quality and to enhance biodiversity, in compliance with Policies EC1, EC5, OE7 and OE8 of the Hillingdon Unitary development Plan Saved Policies (September 2007) and Policy 4A.17 of the London Plan (February 2008).

**17 NONSC Non Standard Condition**

The exact location and design of water control features shall be submitted to and approved by the Local Planning Authority prior to commencement of the development hereby approved. The scheme shall be carried out in accordance with the approved

details, the Water Management Plan (March 2010) and the Addendum dated.

**REASON**

To prevent the increased risk of flooding to third parties, to improve water quality and to enhance biodiversity, in compliance with Policies EC1, EC5, OE7 and OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.17 of the London Plan (February 2008).

**18 NONSC Non Standard Condition**

Prior to the commencement of any works on site the breakdown of delivery lorry movements during the day including the provision of information relating to the full delivery and exit routes and the means of restricting the delivery vehicles exiting the site during any 30 minutes interval of the traffic sensitivity hours to no more than 3, shall be submitted to and approved in writing by the local planning authority and such scheme as is approved shall be implemented.

**REASON**

In order to ensure that the proposal does not impact unduly on traffic flows and highway safety in compliance with policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**19 NONSC Non Standard Condition**

All import and earthworks activities shall only take place between the hours of 07.30 - 18.30 (No Deliveries after 16.30) Monday-Friday and at no time on, Saturdays, Sundays or Bank/public Holidays.

**REASON**

To safeguard the amenity of surrounding areas in compliance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**20 NONSC Non Standard Condition**

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority for an amendment to the remediation strategy detailing how this unsuspected contamination shall be dealt with.

**REASON**

To protect the groundwater below the site and the adjacent water courses from pollution in compliance with Policy EC3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**21 NONSC Non Standard Condition**

No contaminated soils or other materials shall be imported to the site. All imported soils for landscaping purposes shall be clean and free of contamination. All imported soils shall be inspected and tested for chemical contamination and the results of this testing shall be submitted to and approved by the Local Planning Authority.

**REASON**

To ensure that the users of the golf course development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan.

## INFORMATIVES

### 1

If any controlled waste is to be removed off site, then site operator must ensure a registered waste carrier is used to convey the waste material off site to a suitably authorised facility. The Duty of Care regulations for dealing with waste materials are applicable for any off-site movements of wastes. The developer as waste producer therefore has a duty of care to ensure all materials removed go to an appropriate licensed disposal site and all relevant documentation is completed and kept in line with regulations.

If any waste is to be used on site, the applicant will be required to obtain the appropriate exemption or authorisation from us. We are unable to specify what exactly would be required if anything, due to the limited amount of information provided. If the applicant wishes more specific advice they will need to contact the Environment Management Team at our Hatfield office on 08708 506506 or look at available guidance on our website:

<http://www.environment-agency.gov.uk/subjects/waste>.

### 2

If any waste is to be used on site, the applicant will be required to obtain the appropriate exemption or authorisation from The Environment Agency. If the applicant wishes more specific advice they will need to contact the Environment Management Team on 08708 506506 or look at available guidance on the website.

### 3 I1 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### 4 I11 **The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

### 5 I15 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**6**            I16                    **Directional Signage**

You are advised that any directional signage on the highway is unlawful. Prior consent from the Council's Street Management Section is required if the developer wishes to erect directional signage on any highway under the control of the Council.

**7**            I20                    **Land Drainage**

You are advised that, pursuant to the Land Drainage Act 1976, details of any works affecting the beds, banks and flow of the river, including details of any outfall structures discharging into the watercourse, should be submitted to the Environment Agency, Planning Liaison Officer, Thames Region, Howard House, 10/11 Albert Embankment, London SE1 7TG.

**8**            I43                    **Keeping Highways and Pavements free from mud etc**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.

**9**            I52                    **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**10**          I53                    **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation

	importance
EC5	Retention of ecological features and creation of new habitats
MIN20	Proposals involving landfilling, re-working or disturbance of old landfill sites - gas control and monitoring requirements
MIN21	Impact of development proposals involving landfilling on the local hydrogeological regime - requirement for monitoring and mitigation measures
OE1	Protection of the character and amenities of surrounding properties and the local area
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL5	Development proposals adjacent to the Green Belt
OL9	Areas of Environmental Opportunity - condition and use of open land
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
R4	Proposals that would involve the loss of recreational open space
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
POBS	Planning Obligations Supplementary Planning Document, July 2008

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

Uxbridge Golf Course is located on approximately 92.5 acres (37.5 hectares) of land to the north of the A40 Western Avenue and to the west of Ickenham. The planning application area encompasses 59 acres (23.9 hectares) of the golf course, which is situated entirely within the Green Belt.

The course occupies land on a north-south axis, which slopes downhill from the east to the west at an average slope about 1 in 15. There is a smaller narrow section of the site to the south which falls to the west, but more steeply by about 20m at a slope of approximately 1 in 6. The eastern ridge also slopes approximately 62.0 metres AOD in the north to 52.0 metres AOD in the south, while the western boundary slopes downwards from approximately 34.0 metres AOD in the north and 32.0 metres AOD in the south.

Within the site there are smaller scale changes of topography associated with the golf course. Along with the golf features (greens, tees, bunkers etc) the majority of the site consists of tightly mown grassland for the golf course, interspersed with occasional woodland blocks and linear Poplar planting, particularly at the northern end of the course. Individual mature Oaks or small groups of mature Oaks are also in evidence.

The northern part of the course is very linear and regular in form as a result of the straight, open drainage channels that run parallel to and across fairways, and the lines of

non-native Poplars. The areas between these fairways lack any under-storey vegetation and contrast somewhat with the old oak trees that mark the alignment of former hedgerows.

At present six of the eighteen holes are closed because of major pipeline works across the southern section of the course.

There are no ponds or lake features on the site. The ditches to the West of the site are running with water much of the year. Beyond the site to the west, the landscape is very much associated with damp waterlogged wetland (both in the open fields and woodland). The proposed development lies outside the flood plain of the River Colne to the west, as designated by the Environment Agency Map.

There is a public footpath which crosses the site from East to West at the Northern end of the site.

The boundaries of the course consist of more mature woodland (mainly to the West and central zone), hedgerow and open fields (mainly to the East and South West), although the boundary to the south east of the site is occupied by residential properties in The Drive. The A40 runs along the southern boundary of the site.

The west boundary meets the floodplain of the Colne Valley and the River Frays, with the Grand Union Canal lying further to the west. The floodplain is characterised by reservoirs (flooded gravel pits) to the north-west and woodland/scrub with areas of semi-natural grassland and wetlands in the south-west. There is a waste management site on elevated land on the northern boundary which is part-screened by a wooded slope.

The floodplain to the west is a Nature Conservation Site of Metropolitan or Borough Grade I Importance, within which there are designated Nature Reserves and a Site of Special Scientific Interest (Frays Farm Meadows). Approximately half way up the eastern boundary there is a Nature Conservation Site of Borough Grade II or Local Importance.

### **3.2 Proposed Scheme**

Planning permission is sought for the remodelling and overhaul of the course. The applicants have submitted that the works are required in order to produce a golf course that will be much improved, challenging and a well maintained public amenity for the Borough, resulting in a course of choice for all standards of golfers and will address the issues of drainage, course quality and environment, safety and course routing.

The key elements of the proposals are:

- The importation of 134,942m<sup>3</sup> cubic metres of clean, inert construction material and soil for landscaping and re-contouring purposes to meet the proposed levels. All sub-soils for the remodelling of the course will be imported to the site. Imported soils will consist of excavated, uncontaminated earth spoils and soils.

The applicants submit that the volume of fill material required is necessary for the development proposed and constitutes a waste recovery operation. The existing topsoil will be stockpiled on site, improved and reintroduced on completion of the sub-soil ground modelling. It is intended to have a minimum of 150mm of topsoil on the fairways, green surrounds, tee banks, semi-rough and shrub planting zones. A maximum of 50mm will be present in the out of play grassland/wildflower zones. Additional importation of specialist root zone materials will be required for the fine turf areas, namely golf greens. Similarly, a

proportion of gravels will be imported for use with any sub-surface pipe drainage network that is proposed.

Laying out of the golf course including construction of tees, greens, bunkers etc.;

Remodelling is proposed on the holes in the southern section of the course so that they are of the same style and quality to those on the remainder of the course on completion of the project. The applicants submit that the remodelling proposals are fundamental in addressing the realignment of holes 8 and 9 (proposed layout) and of key importance in the overall strategy to upgrade and refresh the entire facility.

The proposal also involves landscaping works, including seeding and planting the course, engineering of a course drainage and irrigation system and habitat enhancement, particularly in the buffer areas adjacent to nature conservation features.

There are no new buildings, roads, parking and paths proposed as part of this design, apart from the temporary construction haul routes and the existing temporary construction access. Buggy paths will not be installed along fairways but localised to tees and greens where necessary to ensure the buggies remain to designated areas that are made safe for access and egress.

#### · Site Access and Haul Routes

The proposal will no longer involve the creation of a new temporary site access, off Skip Lane to be used to access the northern section of the course. The existing access on the A40 slip road up to Swakeleys roundabout (until recently employed by National Grid construction traffic) will be used for the works for the course. The haul road will follow the route of the existing Gas Pipeline site haul road and golf course maintenance route through the western side of the central woodland block.

#### · Phasing

Whilst the relationship between the weight of material an 8 wheel tipper lorry can carry and the volume of material required in its placed state is complex, it is dependent on a number of variable factors including particle density, moisture content and air voids (level of compaction). Using a conservative estimate of 9m<sup>3</sup> it is anticipated that the importation operation would not take any longer than a maximum of 44 weeks and it is anticipated that the full 18 holes will be reopened in April 2012.

The application is supported by a number of reports that assess the impact of the proposal. A summary and some key conclusions from these reports are provided below:

#### Project Description

This document includes a description of the site, an explanation of the rationale behind the proposed upgrade of the facilities, details of the proposed remodelling work, landscape design and construction details. Also included are appendices outlining issues surrounding the use of imported soils in the remodelling of golf courses (appendix 1), biodiversity enhancements resulting from the development (appendix 2) and a company profile for the applicants (appendix 3).

#### Impact Statement

The Impact Statement report describes the effects on the land and considers that, while the course will have a more undulating landform, the basic topographical landform, sloping from east to west, will remain.

#### Visual Appraisal

The report describes the proposed re-modelling and considers the visual effects from 17 viewpoints around the site.

#### Flood Risk Assessment

The report concludes that the flood risk to the site and surrounding area will not be increased by the development. The proposed development is therefore in accordance with PPS 25.

#### Ecological Impact Assessment March 2010

The report suggests that these will be subtle changes and not impact on the SSSI interest features. The report also states that there is scope for designing in buffering areas and incorporating sediment management measures. This document includes an ecological survey and desk study work, valuation, consideration of mitigation and enhancement and impact assessment for the entire golf course.

#### A Biodiversity Mitigation, Management and Monitoring Plan (BMMMP)

This BMMMP seeks to provide details of the proposed mitigation and habitat enhancement measures and also covers the subsequent management and monitoring for biodiversity that will be undertaken and integrated into operation of the golf course. Information contained within this document includes:

- The recorded ecological baseline;
- Profiles for species and habitats that form the focus of the plan;
- Key objectives for each target habitat and species;
- Full details of the biodiversity mitigation measures to be implemented in advance of and during construction;
- Full details of the initial habitat enhancement/ creation measures to be implemented by Greenspace Environmental during the initial construction phase;
- Detailed management measures and procedures required to achieve these objectives over a 10 year programme;
- Monitoring protocols; and
- A programme/timetable for undertaking this work.

#### Water Management Plan March 2010

This document provides information relating to the proposed management of the relationship between water originating within Uxbridge Golf Course and the adjoining Nature Conservation sites (SSSI and LNR). It is intended that this Water Management Plan will be delivered through the planning application, together with an ongoing commitment from the golf course operators to continue the prescribed management regime, in association with future direction by the Environment Agency, Natural England, the London Wildlife Trust (which manages the SSSI/LNR on a day to day basis) and Hillingdon Borough Council (which owns the SSSI/LNR and the golf course). This ongoing safeguarding of the SSSI from unauthorised golf course management activities is also required to avoid prosecution under the Wildlife and Countryside Act 1981 (as amended) and to comply with the requirements of the NERC Act 2006. The scope of the Water Management Plan covers:

- management of the runoff of water within the golf course;
- flow pathways and connectivity to the SSSI and LNR (and the Frays River); and
- water quality issues.

Addendum to the Ecological Impact Assessment, Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan, dated 10th June 2010.

The Addendum includes the following:

- An additional flow control sluice will be provided at a new location, in addition to those sluices already specified in the Water Management Plan.
- A baseline water quality survey will be completed in advance of the construction work commencing.
- An as built topographic survey of the drainage features will be completed to ensure that the final levels of these features are constructed as required.
- An individual who has relevant experience will complete the water quality baseline survey.
- The construction phase water quality monitoring will be carried out to the same general procedures and standards as that described for the baseline survey.
- The operational phase water quality monitoring will be carried out to the same general procedures and standards as that described for the baseline survey, interpretation and reporting.
- Confirmation that access to Frays Farm Meadows SSSI and associated nature reserve will be maintained for representatives of the London Wildlife Trust, Environment Agency and Natural England, and their graziers, at all times during both the construction phase and the future operation of the golf course.

#### Arboricultural Implications Assessment

The report's objectives are to inspect significant trees on and close by to the site and to provide advice on the successful retention and incorporation of trees of amenity value. Root protection zones are specified and indicative tree protection measures provided. The implications assessment is detailed in section 4 and temporary tree protection measures are described in section 5. The report concludes (section 6) that tree surgery and selected removal should take place prior to the erection of the protective fencing and prior to the commencement of development.

#### Design and Access Statement

This document details the steps taken to arrive at the proposed design, showing the consideration given to the site context, the consultation processes used and the key design parameters determined as a result of this process.

#### Construction Environmental Management Plan (CEMP)

This document details the processes and controls that will be used to manage the construction activities and the sequence and timing of operations. Contractors will be required to adhere to the CEMP at all times with regard to health and safety, the control of surface water runoff, the control of nuisance caused by dust or dirt and the application of procedures to ensure that only approved material is deposited on site, to the satisfaction of the LPA and the Environment Agency.

#### · Potential Impact on Mature Oak Trees

The report highlights the issues involved regarding the impact of the build up in levels on the existing mature Oaks. The report covers the existing hydrological conditions, the potential for the water table and soil moisture conditions to change, the likely impact this may have on the trees and measures that can be undertaken to identify and combat at an early stage any stress affecting particular trees.

The current proposal involves a change in the design from the previous scheme which was refused in May 2010. The main changes to the previous scheme are:

- Withdrawal of the northern access and the use of Skip Lane for this purpose;
- Withdrawal of the proposal to remodel holes at the northern end of the site; with the only

remodelling to the north of the central woodland block being on holes 14, 15 and the lower part of hole 16 (existing hole numbers);

- A reduction in the scale of proposed works on the holes to be remodelled;
- the volume to be filled has been reduced from 375,000 cubic metres to 134,942 cubic metres;
- Reduction in the timescale of the project.

The levels have been adjusted with a view to addressing concerns that the proposed landform of the previous application was excessive in its build up, with some extreme high points and steep gradients. The reduction in the importation volume was also reviewed to take account of the impact on the length and intensity of the construction process, thereby reducing the impact along Harvil Road.

The application red-line boundary has been revised to reflect the reduction in the overall application area, from 28 hectares to 23.9 hectares, but with the inclusion of small additional areas, to reflect the need for construction access over adjoining land to the north and south of the site.

Proposed levels and slope angles have been reduced generally, but the area affected by soil importation has also been reduced, principally to leave the higher parts of the course unchanged.

There is now no proposal to remodel any of the 8th or 18th fairways or the bulk of the 1st and 7th holes and there will be no importation to the 6th hole to the south of the public footpath.

Discounting the holes that would have required reinstatement works in any case, (as a result of the new pipeline), only the holes that have major drainage issues and the poorest holes on the existing course in terms of layout and general environment i.e. those at the northern end of the site will now be subject to major works.

Whilst the upper holes will not now be remodelled, their greens and tees will still be upgraded to provide better quality surfaces, in keeping with the new golf holes.

Additional plans have been included in this application to further clarify the extent of the proposed earthworks:

An Elevations Changes plan (500.11 Rev A) shows a colour coded plan of the relative heights of the proposed earthworks across the course.

A Steeper Gradients Plan (500.12 Rev B) indicates where proposed slopes in golfing areas exceed 1 in 4.

The landscape plan (500.03 Rev A) has been amended to include final contour levels so that the proposed planting can be assessed in relation to the final ground form. The plan has also been amended to reflect that there are groups of trees that are no longer being removed following alterations to the grading detail.

The Tree Impact Plan (500.14) also indicates the reduced requirement for clearance.

The Contractors Works Plan (500.08 Rev B) has been amended to reflect the grading changes.

The Existing Site Plan (500.01 Rev A) has been amended to show the correct hole numbering and any incorrect plans or references within the application documents revised accordingly.

### **3.3 Relevant Planning History**

4601/APP/2009/1487 Uxbridge Golf Course The Drive Ickenham

Remodelling works to Golf Course, consisting of re-contouring of existing land form using imported inert soils, together with extensive landscaping and associated drainage.

**Decision:** 08-09-2009 Withdrawn

4601/APP/2009/2622 Uxbridge Golf Club The Drive Ickenham

Remodelling works to improve the quality and condition of Uxbridge Golf Course, consisting of reshaping works using imported inert soils and extensive landscaping to enhance visual and ecological amenity.

**Decision:** 01-04-2010 Refused

### **Comment on Relevant Planning History**

Proposals for extensive remodelling works to upgrade Uxbridge Golf Course were initially submitted in July 2009 (4601/APP/2009/1487). This application was withdrawn in September 2009.

Application 4601/APP/2009/2622 attempted to address the concerns of the local residents, officers and statutory and non statutory consultees on the withdrawn scheme. The significant changes and additions from the previous application were:

- A reduction in the volume of proposed imported soil from 580,000 cubic metres to 375,665 cubic metres, to address concerns that the proposed landform of the previous application was excessive in its build up with some extreme high points and steep gradients.
- An associated reduction in the length and intensity of the construction operation.
- The removal of proposed soil importation on much of proposed fairways 1, 4, 5 and 6, with significant lowering of levels on proposed fairways 18 and 10.
- A drop in mound height in the area around the 18th tee and the mounding between proposed fairways 14 and 7.
- A general lessening of angles on banks that are in-play and also a reduction in slope angles in the vicinity of the root protection areas of trees, together with increases in the distances between slope bases and trees (applying the guidance of BS 5837).
- The inclusion of additional plans to clarify the extent of the proposed earthworks: an Elevations Changes plan showing a colour-coded plan of the relative heights of the proposed earthworks across the course and a Steeper Gradients plan indicating where proposed slopes exceed an angle of 1 in 4.
- Provision of a Tree Impact report to demonstrate lack of adverse impact on mature oak trees.

The North Planning Committee at a special meeting held on 10 March 2010, resolved:

1. That the application be referred to the Mayor under Article 5 of the Town and Country Planning (Mayor of London) Order 2008.
2. That subject to the Mayor not directing the Council under Article 6 of the Town and Country Planning (Mayor of London) Order 2008 to refuse the application, or directing under Article 7 of the Order that he is to act as the local planning authority for the purpose of determining the application, that delegated powers be given to the Head of Planning and Enforcement to refuse the application for the following reasons:

1. The application has failed to include details of the route/s of delivery lorries and a

breakdown of delivery lorry movements during the day, particularly during the traffic sensitive peak hours. The application has also failed to include satisfactory information in relation to road safety at the junction of Harvil Road and Skip Lane, at the access point off Skip Lane, and details of the northern access point, including levels and gradients. In the absence of this information, it is likely that the proposals would lead to conditions detrimental to road safety and lead to traffic congestion contrary to Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

2. The submitted plans and documentation, including the submitted ecological assessment, has failed to demonstrate that the proposed development could be completed without detriment to the recognised ecological value of this area, including the adjacent Nature Conservation Sites of Metropolitan or Borough Grade I and II Importance, within which there are designated Nature Reserves and a Site of Special Scientific Interest (Frays Farm Meadows). The proposal is therefore contrary to Policies EC1 and EC3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and policy 3D.14 of the London Plan and the provisions of PPS9 (Biodiversity and Geological Conservation).

3. The submitted plans and documentation do not clearly illustrate the route of the proposed northern haul road or provide details of the proposed access at the northern boundary of the Golf Course or provide sufficient information regarding the impact of these works on existing vegetation, including trees and woodland. The proposal is therefore contrary to Policies BE26 and BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4. The applicant has failed to provide contributions towards the improvements to facilities as a consequence of demands created by the proposed development (in respect of a contribution towards the management and maintenance of the adjacent Nature Reserves and improvements to the public footpath (boardwalks). The scheme therefore conflicts with Policy R17 of the Hillingdon Unitary Development Plan Saved Policies September 2007, and the adopted Supplementary Planning Document 'Planning Obligations.'

5. The applicant has not demonstrated how the proposal would accommodate adequate provision for accessibility and inclusion for people with disabilities and the less able within the golf course redesign. As such, the development would fail to create an inclusive environment or incorporate the principles of inclusive design, contrary to Policy R16 of the Hillingdon Unitary Development Plan Saved Policies 2007, Policies 4B.1 and 4B.5 of the London Plan (February 2008) and the design principles contained within the adopted Hillingdon Design and Access Statements (HDAS): Accessible Hillingdon.

The following Informative was also agreed:

The applicants' attention is drawn to concerns raised through the consultation process (from golfers and golf amenity groups) regarding potential health and safety issues, whereby the new layout will cause golf balls to be hit closer to pedestrian pathways through the golf course.

#### **4. Planning Policies and Standards**

London Plan Policies: 3D.9 - Green Belt; 3D.14 - Biodiversity and nature conservation;

4B.1, 4B.2 Urban Design and Access; 4A.3 - Sustainable Design and Construction.  
 The Mayor's Biodiversity Strategy.  
 Municipal Waste Management Strategy; Accessible London: Achieving an inclusive Environment SPG  
 Planning and Access for Disabled People -A good Practice Guide (ODPM)  
 The Mayor's Transport Strategy  
 PPS1: Delivering Sustainable Development February 2004  
 PPG2: Green Belts January 1995  
 PPS7: Sustainable Development in Rural Areas July 2004  
 PPS9: Biodiversity and Geological Conservation September 2005  
 PPS10: Planning for Sustainable Waste Management September 2005  
 PPG13: Transport March 2001  
 PPG16: Archaeology and Planning November 1990  
 PPG17: Open Space, Sport and Recreation September 2001  
 PPG24: Noise  
 PPS25: Development and Flood Risk July 2007

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

#### Part 1 Policies:

- PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area.
- PT1.12 To avoid any unacceptable risk of flooding to new development in areas already liable to flood, or increased severity of flooding elsewhere.
- PT1.3 To seek greater public access to the countryside for informal leisure activities.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.
- PT1.5 To carry out and promote countryside management projects to improve the environment and nature conservation value of countryside and open land, particularly in areas which are degraded or derelict and important corridors along roads and watercourses.
- PT1.6 To safeguard the nature conservation value of Sites of Special Scientific Interest, Sites of Metropolitan Importance for Nature Conservation, designated local nature reserves or other nature reserves, or sites proposed by English Nature or the Local Authority for such designations.

#### Part 2 Policies:

- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- EC1 Protection of sites of special scientific interest, nature conservation importance and nature reserves
- EC2 Nature conservation considerations and ecological assessments
- EC3 Potential effects of development on sites of nature conservation importance

EC5	Retention of ecological features and creation of new habitats
MIN20	Proposals involving landfilling, re-working or disturbance of old landfill sites - gas control and monitoring requirements
MIN21	Impact of development proposals involving landfilling on the local hydrogeological regime - requirement for monitoring and mitigation measures
OE1	Protection of the character and amenities of surrounding properties and the local area
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL5	Development proposals adjacent to the Green Belt
OL9	Areas of Environmental Opportunity - condition and use of open land
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
R4	Proposals that would involve the loss of recreational open space
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
POBS	Planning Obligations Supplementary Planning Document, July 2008

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **11th June 2010**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

The Notice of Proposed Development was advertised as major development under Article 8 of the Town and Country Planning (General Development Procedure) Order 1995 and 172 neighbours and local amenity groups were consulted in the surrounding area. Site Notices were posted at the entrance to the Golf Course and at the public footpath which bisects the course.

On letter giving conditional support and 43 individual letters of objection (14 letters and 29 internet responses), together with 3 petitions bearing 20, 20 and 41 signatures respectively, were received, objecting to the planning application. In addition, objections were received from Ickenham Residents' Association and The Drive Residents' Association. The principle areas of concern are:

1. No objection to a reasonable use of landfill for reinstatement of the southern holes or to improve drainage at the lower levels of the course, but it has been noted that flooding is not an issue that needs to be overcome on the golf course.
2. Underestimation of the number of loads required to deliver the packed volume of landfill by using a volume of 10m<sup>3</sup> per truckload instead of the industry standard of 9m<sup>3</sup>.
3. Does it adhere to the councils Environmental Plan: Green Belt: impact upon the visual quality;

- effect upon the wildlife, local ecology, and Nature Reserves; removal of so many mature trees.
4. The proposals would change the character of the landscape forever.
  5. Inadequate measures to monitor the volume of infill and controls of excessive dumping.
  6. Inadequate consultation with local residents and insufficient detail of the proposal made public.
  7. Impact on local residents from a potential 98000 HGV movements on local roads over a period of 100 weeks, i.e. Congestion.
  8. The application is for commercial gain, the motive appearing to be profit at the expense of the local community.
  9. The current golf course uses the natural contours of the land to create a challenging yet playable course entirely in sympathy with its natural surroundings, whilst the proposed design of the golf course will make it dangerous for players.
  10. Disruption to the golf course, especially in regards to the timescale and there being no improvement to the golf course.
  11. Concern that residents and golfers would have to tolerate an industrial moonscape and a visual monstrosity during the construction period.
  12. Insufficient detail of this important proposal has been made public.
  13. Council to ensure ratepayers' interests are protected.
  14. Public rights of way should be protected.
  15. Any temporary closure of public rights of way should only be for the duration of the project.
  16. The definition of "inert soils" needs to be clarified, and the content and history of the waste to be established, potentially by obtaining UKAS Accredited laboratory certificates for each load.
  17. Concerns about retaining access to the course for the members of Harefield Place Golf Club.
  18. The Golf Course will be out of use for an extended period of time.
  19. Measures should be put in place to ensure that the landscaping is completed within 2 years
  20. 9 holes should remain playable at all times.
  21. Timescale is not given, and there should be proof that the applicant can complete the project.

The following issues have been raised in support of the proposal:

22. No longer have the threat of thousands of heavy vehicles thundering past our homes. Benefits to the community of a commercially successful, playable and attractive golf course, which has not been the case for many years.
23. It would bring in income for the Borough and add value to the quality of life in Ickenham, not to mention the property values along The Drive and other adjacent roads.
24. LBH and Mack have a perfectly legitimate requirement to improve the Course and address the drainage issues to offer a better, year-round playing surface.
25. The Golf Course needs radical work in any number of areas.
26. The gradients on the 9th and 10th holes make it unplayable for all but the better golfer in summer, and the lack of drainage at the lower levels makes it an unpleasantly wet and muddy experience in winter.
27. The current application would achieve significant improvements and encourage more people to play there more often.
28. There are no funds available from the Borough coffers, so income from a reasonable amount of landfill is the only way to pay for improvements.
29. It will be difficult to restore the Course to its original condition before the pipeline works.
30. Unlikely that any reinstatement plan initiated by LBH would, or could, operate to a shorter time-scale than that proposed by this application.
31. A revitalised Uxbridge Golf Course would once again be attractive to people of all levels of golfing ability, and the Club would thus benefit. This would also be to the benefit of the wider community in the longer term.
32. If the application was to be approved and some additional relevant and practicable supervision and control mechanisms put in place to prevent any abuse of planning regulations, it would be the right solution.

The 41 signature petition supports the Ickenham Residents Association's objective of ensuring that the wishes of the people of Ickenham are heard and understood and asks the Committee to put stringent conditions in place for limits of completion dates, soil control and monitoring, plus access movements, should it be mindful to approve the application.

The first 20 signature petition (from members of Harefield Place Golf Club) supports objections by local residents, raises concerns regarding the dramatic reconstruction of the course, objects to the duration of the project and requires at least 9 holes kept open for the duration of the project. In addition the petitioners state that the design for the 9th-13th holes is totally unnecessary and on holes 14-16 there is excessive and unnecessary filling.

The second 20 signature petition (from local residents) requests that evidence be provided before any approval that sufficient finance is guaranteed, to ensure completion of the project, requires that appropriate safety measures be provided and notes that no guarantee has been given that the proposal can be completed within the stated timetable.

In addition a 20 signature petition has been received, supporting the principle of the proposals to improve and restore Uxbridge Golf Course, but raises concerns over the ability of the developer to achieve the objective of restoring the 18 hole golf course by early 2012. The petitioners therefore seek the following reassurance through planning conditions, to ensure that:

1. The total volume of landfill does not exceed 135,000 cubic metres;
2. The completion will not be jeopardised by shortage of suitably inert material;
3. The project plan includes contingencies to accommodate a shortage of landfill material;
4. The developer to deposit a bond of sufficient value to enable the Council to carry out restoration/remediation, in the event of the developer defaulting, or failing to complete the work in a reasonable time frame.

#### ICKENHAM RESIDENTS' ASSOCIATION

We are writing to object to the above planning application and set out our reasons below.

Background: Two previous related applications were made in 2009 for the redevelopment of Uxbridge Golf Course. The first was withdrawn and the second refused. They involved larger amounts on infill, c600,000m<sup>3</sup> and c380,000m<sup>3</sup> compared to the current proposal of 135,000 m<sup>3</sup>.

The applicant may have an expectation that, since the opportunity to benefit from the revenues of accepting up to 140,000m<sup>3</sup> infill to change certain parts of the course was advertised in the golf course management tender document issued by LBH in 2007, their application will be seen favourably. However, that does not weaken the requirement on LBH and the North Planning Committee to fully examine the proposal against current planning law and guidance.

The National Grid project to lay a new gas pipeline through the course was completed early last year. Since then nothing has been done to re-instate the municipal course and return its full amenity to the golf-playing public and to remove the eyesore of the neglected site to neighbours and passers-by. With the tacit agreement of LBH, National Grid transferred the responsibility of re-instatement to the golf course management company who are, via a special purpose company, also the applicants for this planning permission. LBH, as course landlords, have stated in correspondence to us that they felt unable to press for re-instatement whilst planning applications were being considered.

It is important that the requirement to re-instate is seen as a separate issue and then this application is considered on its own merits. At the same time it is even more important not to allow the proposals to jeopardise the early return of the full course to its users. This, we contend, IS a planning consideration, since the LPA is bound by UDP R5 not to deny the loss of land for sports

use and not to allow it to be used for the disposal of waste (albeit for a few years only) and we will address this point in some detail below.

#### Change of Use

Both Communities and Local Government (CLG) and Defra consider that landscaping developments of the scale of the current examples involving importing over 100,000 tonnes of waste would not have been undertaken, if the material used to construct the landscaping were not waste. Therefore, given the quantity of waste being used such developments are unlikely to constitute recovery operations, but are more likely to be waste disposal operations. Department of Local Government and Communities, letter to Chief Planning Officers Jan 2009.

The volume of compacted soil required for the proposal is 135,000m<sup>3</sup> which is much greater than 100,000 tonnes (compacted inert soil weighs in the order of 1.5 tonnes per cubic meter depending on type) and certainly the amount cannot be justified in terms of course improvement. Some may therefore take the view that the primary objective for this proposal is landfill in order to generate revenue.

Moreover, as we understand, under the resulting revised waste exemption rules which came into force in April 2010, no licence exemption would be allowed for this proposed infill and therefore a waste disposal permit will be required, even for inert soils. That being the case it is arguable that the use of parts of the land will change from being a golf course to waste disposal operations. No permission has been sought for this change of use and therefore the planning application is arguably invalid.

#### Affect on the Landscape

The golf course is situated within the Green Belt and on the boundary of the Colne Valley Park, recognised within the UDP at OL10. LBH has committed to support the aims of the Colne Valley Park to safeguard existing areas of countryside from inappropriate development and maintain and enhance the landscape. The proposed remodelling will dramatically alter the visual aspect of the course to visitors and residents, both temporarily during the works, and permanently following the remodelling.

The current course has used the natural contours of the land to provide an undulating course with its terraces and mature trees, sloping down to the wetlands which adjoin the wild life sanctuaries in the Colne Valley Park. In the proposals holes 14 and 15 will be raised by two metres resulting in a steep embankment next to the wetlands. Although some raising of the level of these two holes would be of value to improve drainage, a maximum of one metre would be more than adequate. Two metres will degrade the use of natural contours and appear contrived. The only purpose we can see for such an increase is for the extra financial gain from the deposit of waste material. Similarly, the changes to hole 16 do nothing to improve the course and will also degrade the use of natural contours.

As to the changes to the south side of the course, the applicants claim that changes are required to improve drainage because of the pipeline works. We have not seen any evidence that this is indeed necessary, but, even if it were, the amount of landfill required is far less than stated. Harefield Place Golf Club have estimated that all the works could be completed with only 50,000m<sup>3</sup>.

The proposal is therefore contrary to OL10 as it does not maintain or enhance the scenic value of the landscape in the long term, and in the short term, that is the duration of the project, it will degrade the scenic value even more drastically with the earthworks involved. It is also contrary to policy OL7 which requires that golf course development should improve the landscape.

### Loss of Amenity

During the proposed remodelling works, the applicants propose to keep at least nine holes open at all times. However, the project plan is so limited in detail, that it is impossible to determine if this is feasible at all, even if health and safety standards could be maintained. Moreover, the quality of the playing experience would be so badly degraded through the proximity of the adjacent earthworks and the shortness of the course, that it would be tantamount to closing the course completely.

According to the project plan, which shows very little detail and has no explanatory narrative, the course would be effectively closed until May 2011. However it is very likely to take much longer for the following five reasons:

1. There is no contingency built in.
2. It assumes starting works in July 2010 before planning permission has been granted (we understand that this application is expected to go before the North Planning Committee on 5 August). Also, unless it has already been granted, the applicant will have to apply for a waste disposal permit or at the very least an exemption. We do not believe under the new rules an exemption would be allowed and even if it was, it would take about 7 weeks. If a permit is required, that could take three months to obtain.
3. It assumes that they will be able to find an average of 75 loads a day of suitable waste from the beginning of August 2010 to the end of May 2011. Our sources suggest this is very unlikely. Even if an average of 75 loads per day could be sourced, that would imply a good proportion of days with greater than 75. We understand that due to access restrictions on the course, only a single track haul road, it would be very difficult to achieve this.
4. The plan shows all the course construction work completed on the same day as the infill operations end. This is not feasible. Some course construction will definitely be required after the end of infill operations.
5. The plan shows seeding starting 1 June 2011. Even if this was possible, it is the wrong time of year to attempt seeding and would likely result in poor or patchy growth with re-seeding required in the autumn. The correct times to sow are spring or autumn, NOT summer.

Moreover the applicant has specifically ruled out time limits on the project set as conditions. Since the course would be out of use for an indeterminate length of time, it is contrary to R5 of the UDP.

However, there are opportunities to achieve a reasonable timeplan with a flexible approach should sufficient waste not be available, which would still result in the re-instatement of the pipeline-affected holes and improvements to the drainage of holes 14 and 15. These have been developed by local residents in consultation with the Golf Club and involve starting re-instatement works on the southern holes immediately and simultaneously infilling on holes 14 and 15.

### Major errors in key information

The project plan and resulting timescale for the works is a key element of the plan. It was not available when the application was first lodged, and when some weeks later it was posted, it was very short on detail for a major project of this nature. As we have shown above there are errors in the plan and implicit assumptions which are not borne out in fact. Thus a key part of the proposal is flawed and should not be accepted as is.

### Traffic

The use of the A40 entrance only for waste-bearing lorries would allay previous concerns about traffic on residential roads. However, the on-site haul roads are close to The Drive and residents on that road will be affected. They will be keen to see works completed as soon as possible, but at the same time overuse of the single track haul road will be a significant nuisance, in terms of noise, dust and air pollution. Overuse would also risk the further nuisance of lorries parked with engines running in the entrance waiting to use the haul road, and queues forming on the A40 slip road if the parking area were full. The application suggests that lorry traffic movements will cease at 4pm to take account of the evening rush hour. However, this fails to realise that traffic congestion at this location can occur at any point during the day. Therefore a maximum number of lorries using the

haul road should be set as a condition should the proposal be approved. If, combined with a time limit condition, this implies a lower maximum amount of infill to be imported, then plans should be changed accordingly. The increased traffic generated by this proposal is therefore one reason for asking for this application to be refused, as it is contrary to policies OE1 and AM7 of the UDP.

#### Noise and Dust

Any infill or landfill project will by its very nature generate noise and dust. The prevailing wind from the golf course is South West. The contouring of the land means that wind funnels up and over the course and across into the residential areas of Ickenham. There is little evidence of adequate mitigation measures to alleviate this problem, and it is therefore contrary to policy MIN22 of the UDP.

#### Conditions

If, despite the many fundamental objections to this proposal, this application is recommended for approval, we would ask that consideration be given to conditions covering the following issues:

1. The maximum amount of infill limited to 50,000 cubic metres.
2. The project plan to be changed so that the southern section of the course is re-instated as a matter of urgency, with completion ready for seeding by November 2010.
3. Daily limits on the number of vehicles permitted to access the site.
4. Procedures to be put in place to ensure removal of mud / dust from roads and footpaths at the site access point and immediate access roads.
5. Regular damping down of the infill material to limit the risk of dust carrying into the village.
6. Strict time limits on the hours of working with regular breaks to give nearby residents some respite.
7. Regular monitoring of noise levels.
8. A time limit placed on the infill project to be completed by February 2011, with all areas ready for seeding by April 2011.
9. Independent contractors employed by the council to monitor the amount and quality of infill.
10. Consideration of safety issues associated with depositing large quantities of infill material on site, with use of bunding as appropriate.
11. Financial bonds to be sought to secure completion on time (full course opening April 2012) and to agreed quality standards.
12. A major review of progress to be held in December 2010 to assess the amount of waste already imported and the projections for the next three months before the deadline of February 2011 for cessation of landfill operations. If it is deemed by the Council that there will be a significant shortfall, then the applicants be required to submit a further planning application for revised re-contouring to allow for the shortfall by January 2011, for approval by the LPA under delegated authority. Such control might alleviate many of the residents concerns.

We enclose a signed petition to allow us the ability to address the North Planning Committee and look forward to hearing from you

#### THE ASSOCIATION OF THE RESIDENTS OF THE DRIVE

The Residents Association of the Drive represent the residents of the South Drive, Pine Trees Drive, Dukes Ride and the Georgians of which there are 82 members. The residents with gardens facing south-west and overlooking holes 9-13 of the golf course will be particularly affected by this application. Our initial reaction, however, would in principle be supportive towards the proposal for the remodelling the golf course but I need to draw your attention to a number of relevant points which will need consideration before any determination.

My first point refers to detail included in the Contract & Environmental Management Plan (section 5 Traffic Management). This section states that an average estimate of deliveries will be 75 per day (in and out of the golf course) over a 40 week period. In this context there must be a maximum number of loads in any day with no deliveries after 4.30pm. A level of 100 would seem

reasonable.

My second point refers again to the CEMP and the Gantt chart shown on page 40. This timetable will require a fundamental modification by prioritising the in-filling works to the South incorporating holes 9, 10, 11, 12 and 13. This will ensure that the long awaited reinstatement works are completed first. The infill works to the North will be the last element of the project and will only be completed after holes 9-13.

My third point follows on from this and is with the need to draw a line on construction works after a particular date. The final construction date is stated on the aforementioned plan as 30th March 2011 and this must be the final date. Whatever level of land fill has been undertaken at this stage must be final and not lead to further delays on this project.

I believe the above points should be incorporated as additional terms and conditions of the above application prior to its determination on August 5th 2010.

#### MIDDLESEX COUNTY GOLF UNION

Once again, it is with disappointment and forboding that Middlesex County Golf Union learns about the planning application. The proposals being: remodelling works to the golf course consisting of recontouring of existing land foprmusing imported inert soils, together with extensive landscaping and associated drainage.

On belaf of the MCGU Executive Committee and those members of Uxbridge Golf Club, I can only reiterate the sentiments formally stated in our previous letters of appeal. Uxbridge Golf Club (Harefield Place Golf Club) is a member of the Middlesex Union and has been in existence since 1947, with 124 male members affiliated to the County Union and to the English Golf Union. Although a public golf club, Uxbridge Golf Club has been the breeding ground of players who have developed their game and progressed to represent the County and is also a great social benefit to those living nearby.

As recently as April 2010 an application of this kind was rejected, how revisions could have been so quickly addressed considering the severity of the winter weather is very suprising. The golf industry is struggling barely keeping its head above water financially. there is currently huge pressure on every golf club in maitaning memberships and green fee income, so when golf courses are remodelled it is essential that the work is carried out sensitively and sympathetically. This work will clearly take many months and the recovery even longer, thus depriving the members their facilities which have been affected by gas pipe laying. Middlesex County Golf Union would urge more careful deliberation of this work and the repocussions before it is undertaken as the future of Uxbridge Golf Club would seem uncertain.

#### HAREFIELD PLACE GOLF CLUB

We stronly object to the application which is once again fundamentally flawed. We strogly believe that the proposal will ruin a beautiful golf course with a massive effect on the landscape and the wildlife that we freely enjoy.

The proposed layout will create massive areas of banking, blocking out beautiful views and also a risk to golfers of all ages and disabilities and great dangers could occur where there are huge blind areas with golfers walking into stray golf balls. We stronly believe that the landform operation on the 14th, 15th and 16th holes is not required as all golf courses in the UK get waterlogged from time to time and this course has never been shut due to flooding, only due to snow. It was stated on the tender document that work was to be done alongside the pipeline reinstatement but this window of oportunity has now been missed by 18 months.

Holes 9-13, disrupted by the pipeline have been established for a long time and have never had a problem with drainage. The only hole that has changed is the 9th, which the Council undertook, at their expense 17 years ago and a plateau was created to alleviate a severe slope. This was obviously designed by a company and is sufficient in itself as they must have looked into the severity of the banking at the time. We feel the proposal will create a bank not only unwalkable to golfers but unmaintainable to staff and a serious health and safety issue for golfers retrieving golf balls. There will also be a loss of some lovely mature trees and the loss of a beautiful view.

The proposed 10th hole is going to create a steep banking which will ruin the natural contours of the existing hole, thus creating a need to raise the 11th hole, a quite wonderful existing par 3, one of the best in the country. The proposed new 12th green will be moved back and therefore will be very dangerous for golfers on both the 9th and 12th greens and players walking to the 10th tee, again a health and safety issue.

The proposed new 14th hole with a new pond could be put without landfill.

Regarding the proposed 15th hole, the proposed volume of landfill is unnecessarily large. The problem is not flooding but waterlogging after heavy rain. The proposed pond presents an unfair hazard for high handicap and inexperienced golfers, situated in the centre of the fairway approximately 140 metres out. Until the proposed shrubbery to the right is mature, it is totally insufficient to safeguard anyone using the practice ground as golfers tend to slice tee shots because of out of bounds on the left which will be more in play due to the new banking.

The proposed raising of the bottom 16th is unnecessary and any works required to the teeing area could be done under normal maintenance programme.

The continued submission of applications is merely causing delay to the reopening of a beautiful 18 hole golf course. Had the course been reinstated as originally intended, it would be operational by April 2010, as promised by National Grid. The earliest reopening is now said to be April 2012. We believe this to be totally unrealistic, not to mention unreasonable to the future of the club, due to the lack of availability of inert material under current circumstances.

Our club, a family orientated group has suffered greatly with a devastating loss of membership and facilities. National and County competitions cannot be held here until it is back to an 18 hole golf course. We have been unable to enter competitions based on home and away matches. We believe that immediate reinstatement of the courses should be stipulated by the Council and landlords for the benefit of the club and local community. Mack trading have already been paid to carry out the reinstatement and they should be made to do this immediately.

#### HILLINGDON NATURAL HISTORY SOCIETY

Hillingdon Natural History Society, as managers of Harefield Place Nature Reserve which abuts the golf course on its western edge, has the following comments to make on the proposed re-landscaping of the golf course. We are pleased that the northern end of the course is being left 'as is' and are not objecting to the landscaping itself, although the course is well shaped already, only on the perceived consequences for Harefield Place Nature Reserve, which is part of Frays Valley Local Nature Reserve.

1. There is a population of Water Voles on the ditches both through and adjoining the golf course. These have been fully protected by law since April 2008. We are particularly concerned with the ditch which runs south along the western edge of the golf course adjacent to the track starting by the northern edge of the practice green and entering the LNR near hole 14 (see map below). This ditch is quite overgrown, but must not be disturbed. We are pleased that the practice green, presently a very nice, wet flowering meadow is being retained. We monitor this area regularly and

there are always signs of water vole activity. This species needs unpolluted water and lush vegetation. Compaction and movement of materials threatens its habitat and territories. The reed beds in the adjoining lake are particularly important.

2. We are concerned that there is not enough clearance between the ditch and lake edge and the proposed haul route, see Appendix A. The use of the track and turn round at the northern end would appear to prevent or severely restrict access to the north wood, as the main entrance is close to the turn round. Hillingdon Natural History Society are bound by their licence conditions to have permanent access to the reserve and this is the only access at weekends.

3. The application states that 'inert' topsoil will be imported. What procedures will be put in place to ensure that no minerals or alien plant seeds are imported? We have enough trouble at present with Himalayan Balsam and Japanese Knotweed on the reserve.

4. What procedures will be in place to ensure that no more material will be imported than that specified on the planning application? I note that from the second application 'Remodelling proposals, Appendix 1 - Construction Issues 3.1 (page 7)' that overfilling appears to be 'acceptable' and therefore likely to occur. Hillingdon Natural History Society do not consider this to be acceptable. It does not appear to be mentioned in this application.

5. Since we have not seen the Environmental Impact Assessment, we cannot comment on it. If the plans are approved, then the use of fertilisers on the course and the increased drainage will affect the soil quality in Denham Lock SSSI. In general no nature reserve should have any fertiliser added as this changes the plant communities encouraging species which thrive on nutrient rich soil. These vigorously compete with the rarer plants which are an essential part of the reason the SSSI exists.

6. The considerable increase in vehicular movements brings unintended pollutants such as fuel and oil which ultimately end up in the water courses, a complex series of ditches leading to the River Frays. These are outside the area outlined for development but which could suffer from the impact of such traffic. An average of 75 vehicular movements a day is calculated. Is this over the 7 day week or a 5 day working week? What is to prevent there being 375 movements on one day and none for the rest of the week?

7. How will fly tipping be prevented?

HAREFIELD TENANTS AND RESIDENTS ASSOCIATION - No response.

THE DRIVE (NORTH END) RESIDENTS ASSOCIATION - No response.

NORTH UXBRIDGE RESIDENTS ASSOCIATION - No response.

GREATER LONDON AUTHORITY (GLA)

The Mayor considers that the application complies with the London Plan, provided the conditions set out in paragraph 42 of the Stage 1 Report are agreed by the applicant and the Council.

Pursuant to Article 5 (2) of the Order the Mayor does not need to be consulted again, provided that these conditions are imposed. Your Council may therefore proceed to determine the application without further reference to the GLA, provided these conditions are imposed.

THE GLA Stage 1 REPORT (SUMMARY)

London Plan policies on green belt, waste management, biodiversity, design, access, transport and parking are relevant to this application. The application complies with the London Plan provided the

conditions set out below are agreed by the applicant and the Council.

Green Belt: The proposal is an appropriate use in the Green belt and complies with London Plan Policy 3D.9

Waste Management: The provision of and adherence to a Site Waste Management Plan must be secured by condition.

Biodiversity: The mitigation and enhancements proposed are welcome. The proposed biodiversity and monitoring plan must be secured by condition.

Urban design and access: The remodelling and improvement of the Golf Course at a lesser scale is supported.

Transport: The submission of a construction logistics plan should be secured by planning condition.

## TRANSPORT FOR LONDON (TfL)

I write following notification of this planning application dated May 2010. Please note that the following comments represent the views of Transport for London (TfL) and are made entirely on a without prejudice basis. They should not be taken to represent an indication of any subsequent Mayoral decision in relation to this scheme. These comments also do not necessarily represent the views of the Greater London Authority (GLA) which should be consulted separately.

The proposal is for remodelling works to the Golf Course, consisting of re-contouring of existing land from using imported inert soils, together with extensive landscaping and associated drainage. The site is bounded by the A40 to the South which forms part of the TLRN, residential back gardens, open green belt, a skip recycling/transfer station and a separate recycled aggregate waste transfer station and concrete batching plant to the North. When consulted on the previous application (4601/APP/2009/2622) TfL agreed the use of the access from the A40 for construction access alongside another access on Skip Lane and requested the submission of a Construction Logistics Plan (CLP) to be secured by planning condition with the usual requirements that facilities such as wheel washing are located on site and that vehicles do not back up on to the TLRN under any circumstances.

The new application represents a reduction in the scale of works proposed therefore TfL's previous comments still stand and we have no further comments to add regarding this application.

## ENVIRONMENT AGENCY

The proposed development will only be acceptable if the following measure as detailed in the Flood Risk Assessment submitted with this application is implemented and secured by way of the following planning condition.

The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) K0148 Rep 3 Rev 0 and the following mitigation measures detailed within the FRA:

1. Limiting the surface water run-off generated by the 1 in 100 year plus climate change critical storm so that it will not exceed the run-off from the undeveloped site and not increase the risk of flooding off-site.

Reason: To prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site.

We ask to be consulted on all details submitted in compliance with this condition.

Informative:

If any controlled waste is to be removed off site, then site operator must ensure a registered waste carrier is used to convey the waste material off site to a suitably authorised facility. The Duty of

Care regulations for dealing with waste materials are applicable for any off-site movements of wastes. The developer as waste producer therefore has a duty of care to ensure all materials removed go to an appropriate licensed disposal site and all relevant documentation is completed and kept in line with regulations. If any waste is to be used on site, the applicant will be required to obtain the appropriate exemption or authorisation from us. We are unable to specify what exactly would be required if anything, due to the limited amount of information provided. If the applicant wishes more specific advice they will need to contact the Environment Management Team at our Hatfield office on 08708 506 506 or look at available guidance on our website: <http://www.environment-agency.gov.uk/subjects/waste>.

## NETWORK RAIL

With regard to the above planning application Network Rail Town Planning has no objection in principle but we would strongly recommend that the developer/applicant has the following comments passed to them as conditions.

The proposal is near to the railway infrastructure and as such the developer should contact the Asset Protection Team for the area, they may need to see detailed drainage and excavation plans where relevant, such plans should be issued to the team at least 6 weeks prior to any works commencing on site. Please contact:

In advance of the developer/applicant contacting the asset protection team they should take on board and action as follows in order to prevent any impact upon the safety, operation and integrity of the railway:

Storm/surface water must not be discharged onto Network Rail's property or into Network Rail's culverts or drains except by agreement with Network Rail. Suitable drainage or other works must be provided and maintained by the Developer to prevent surface water flows or run-off onto Network Rail's property. Proper provision must be made to accept and continue drainage discharging from Network Rail's property. Full details to be submitted for approval. Suitable foul drainage must be provided separate from Network Rail's existing drainage.

Soakaways, as a means of storm/surface water disposal must not be constructed near/within 20 metres of Network Rail's boundary or at any point which could adversely affect the stability of Network Rail's property.

All excavations/earthworks carried out in the vicinity of Network Rail property/structures must be designed and executed such that no interference with the integrity of that property/structure can occur. If temporary works compounds are to be located adjacent to the operational railway, these should be included in a method statement for approval by Network Rail. Prior to commencement of works, full details of excavations and earthworks to be carried out near the railway undertaker's boundary fence should be submitted for the approval of the Local Planning Authority acting in consultation with the railway undertaker and the works shall only be carried out in accordance with the approved details. Where development may affect the railway, consultation with the Asset Protection Engineer should be undertaken.

Furthermore, there must be no general lowering of present ground levels near Network Rail's boundary where the railway is on an embankment or same level as the adjoining land. Further, there must be no excavation into, nor deep continuous excavations near, the toe of embankments or retaining walls or bridge support slopes.

All roads, paths or ways providing access to any part of the railway undertaker's land shall be kept open at all times during and after the development.

## NATURAL ENGLAND

The application site is adjacent to Fray's Farm Meadows SSSI. This reply comprises our statutory consultation response under the provisions of Article 10 of the Town and Country Planning (General Development Procedure) Order 1995 and Section 28 of the Wildlife and Countryside Act 1981 (as amended).

As you are aware, we raised objections to previous proposals for the above site, and have subsequently held detailed discussions with the applicants ecology consultant. Natural England recognises that the applicant has responded to our earlier comments by producing considerable supplementary information to address some of the issues raised and we consider the revised materials to include some very positive changes. Our discussions with Johns Associates on behalf of the applicant have been constructive and, following these discussions, we support the additional points made in the letter of addendum dated 14 June 2010.

Natural England does not object to the current proposals, subject to the inclusion of conditions as discussed below and the proposals being carried out in strict accordance with the terms of the application and the submitted plans.

### Hydrology

As discussed in previous correspondence, there is limited information available regarding the detailed hydrology of the SSSI, on which to base judgements concerning the impacts of the proposal. The suggested hydrological isolation of the SSSI from the golf course at groundwater level has not been conclusively demonstrated and it is not likely that this evidence can be gathered in the near future. Therefore it is not possible to rule out this pathway between the golf course and the SSSI. However, we acknowledge that the Water Management Plan (Johns Associates, April 2010), which models the changes to surface and groundwater flows on the golf course, addresses as far as possible our concerns with regard to alterations to the existing hydrology, and the impact these may have on the SSSI.

Based on the modelling predictions that water flowing from the golf course to the SSSI will be the same as present levels or higher, Natural England accepts that any overall negative impact on the SSSI can be expected to be minimal. Our chief concern is that London Wildlife Trust, who manage the site, should have control over water flowing to the SSSI from the golf course, such that it is available to the SSSI if required, but can be diverted away if necessary. Following discussions with the applicants ecologist and agreement on the addition of extra measures to the proposals submitted with this application, we are satisfied that this is the case. Natural England expects that, as agreed in discussions and confirmed in the letter of addendum, the exact location and design of water control features will be submitted in detail for approval to ensure that they deliver the required water movement across the drainage system, and that this should be secured in a suitably worded condition.

### Water quality survey and monitoring

Natural England considers that the detailed water quality monitoring regime and feedback mechanisms set out in the Water Management Plan and expanded in the letter of addendum, are appropriate to ensure that possible impacts on the SSSI can be responded to effectively. In particular we welcome the undertaking of a comprehensive baseline survey to establish current conditions and fully inform the subsequent water quality monitoring. In our view this is a best practice measure which will support future discussions with regard to water quality and enable the local authority to fulfil its duty to conserve and enhance the SSSI. Natural England would expect this survey and monitoring package to be secured with a suitably worded condition.

### Governance

Natural England expects that, as agreed in discussions and confirmed in the letter of addendum,

London Wildlife Trust has appropriate control over water control features and that this should be secured with an appropriately worded condition.

Similarly, we are satisfied that the letter of addendum includes provision for London Wildlife Trust, their graziers and Natural England to enjoy continued access to the SSSI via the application site, and in the case of the Trust and graziers or contractors carrying out work on their behalf, we would expect to see this formalised using a suitably worded condition.

#### General remarks

Natural England supports the recommendations made for mitigation measures and habitat creation and management in the Biodiversity Mitigation, Management and Monitoring Plan (Johns Associates, February 2010); these should be secured with an appropriately worded condition.

#### Summary and conclusions

Subject to the inclusion of the above conditions and the proposals being carried out in strict accordance with the terms of the application and the submitted plans, Natural England has no objections to this proposal at present. Should there be any modification or amendment to the application, however, which may affect the SSSI, Natural England must be consulted further.

If your council decides to allow the development without applying the requirements/conditions set out above it must notify Natural England of the permission, the terms on which it is proposed to grant it and how, if at all, it has taken our advice into account. It must then allow a further period of 21 days before the development can commence to allow us to consider any further action.

SPORT ENGLAND - No response.

LONDON WILDLIFE TRUST - No response.

DEPARTMENT FOR ENVIRONMENTAL, FOOD AND RURAL AFFAIRS (DEFRA) - No response.

COLNE VALLEY PARK CENTRE - No response.

METROPOLITAN POLICE CRIME PREVENTION OFFICER.- No objections.

#### **Internal Consultees**

##### **POLICY AND ENVIRONMENTAL PLANNING**

The current application is a re-submission of a previously refused scheme ref: 4601/APP/2009/2622. The following amendments have been proposed:

- Withdrawal of the northern access and the use of Skip Lane for this purpose
- Withdrawal of the proposal to remodel holes at the northern end of the site; the only remodelling to the north of the central woodland block will be on holes 14, 15 and the lower part of hole 16 (existing hole numbers)
- A reduction in the scale of proposed works on the holes to be remodelled.
- The proposed infill volume of 375,000 cubic metres has been reduced to 134,942 cubic metres.

However, as there are no new planning policy issues introduced with this scheme, the previous policy comments still apply.

1. Site: The proposal site is located in Uxbridge Golf Course. The site is designated as Green Belt land. The site is bordered by a waste management site to the north, farmland to the northeast, residential properties to the south-east, grazing land and the A40 to south, and meadow grassland and wet woodland (in a nature reserve and SSSI) to the west.

2. Recent planning history: The current application is a re-submission of a previously refused scheme ref: 4601/APP/2009/2622 with the following amendments:

- Withdrawal of the northern access and the use of Skip Lane for this purpose
- Withdrawal of the proposal to remodel holes at the northern end of the site; the only remodelling to the north of the central woodland block will be on holes 14, 15 and the lower part of hole 16 (existing hole numbers)
- A reduction in the scale of proposed works on the holes to be remodelled.
- The proposed infill volume of 375,000 cubic metres has been reduced to 134,942 cubic metres.

3. London Plan: The London Plan sets out the Mayors strategic objective for the future of Green Belt Land in London and aims to ensure that Green Belt is maintained and protected.

Policy 3D.9 sets out the mayors strategic objective for the future of Green Belt Land in London and aims to ensure that Green Belt is maintained and protected. The London Plan states that there is a general presumption against inappropriate development in the Green Belt, and such development should not be approved unless in very special circumstances.

Policy 3D.14 Biodiversity and nature conservation seeks to protect, promote and manage biodiversity.

#### 4. Main Policy Issues

As there are no new planning policy issues introduced with this scheme (ref: 4601/APP/2010/1103), the previous comments still apply (see below):

##### Land-use

The site is located within designated Green Belt land. Under the terms of UDP Policy OL1 development in the Green Belt is normally unacceptable unless it is agriculture, cemetery or recreation related.

The main policy issue in relation to this scheme is the impact of the proposal on the openness of the Green Belt and the visual amenities.

The proposal is for the remodelling of the golf course. Golf courses are considered an appropriate Green Belt use. However, the potential visual impact that the re-modelling of the golf course could have on the Green Belt must be considered. Therefore, regard should be taken to Policies OL2 and BE13 which safeguard the Green Belt and ensure the harmonisation of any proposed development.

Officers would also need to be satisfied that the scale of the proposed scheme is not going to harm the openness of the Green Belt, including any impact on ecology, and that it is consistent with Policy OL9 Areas of Environmental Opportunity which includes the Colne Valley Park.

Policy OL5 will only permit proposals for development adjacent to or conspicuous from the Green Belt if it would not harm the character and appearance of the Green Belt. It is unlikely that the re-contouring of the land would be visible from afar and would not affect the overall character and openness of the Green Belt, and would consequently be compatible with PPG2 and Policy OL5 and OL9 of the UDP Saved Policies.

##### Ecology

The application site is located in proximity to several legally protected sites that have a statutory designation, such as a SSSI site and others that have been designated on a non-statutory basis, including Sites of Importance for Nature Conservation (SINC). There are legally protected species in proximity of Uxbridge Golf Course.

Policy EC1 and EC2 state that nature conservation interests will be taken into account in considering proposals for development of land especially within sites of borough (Grade II) and local importance. The protection of species afforded by the wildlife and countryside act 1981 (amended 1985) will be a material consideration and where appropriate an ecological assessment may be required before it determines development proposals.

Policy EC3 requires proposals for development in the vicinity of sites of nature conservation importance to have regard to the potential effects on such sites of changes in the water table and of air, water, soil and other effects which may arise from the development.

Policy EC5 may require certain on-site ecological features to be retained in new developments and seek to enhance the nature conservation and ecological interest of sites or create new habitats through the use of planning conditions attached to planning permissions or through planning agreements negotiated with developers.

An ecological assessment has been provided within the application and officers should be satisfied that the nature conservation area is not compromised. However, mitigation measures should be managed through a Biodiversity Management and Monitoring Plan and could be implemented through planning obligations.

#### 5. Conclusion

As there are no new planning policy issues introduced with this scheme, LDF have no objections in principle to the proposed scheme.

#### TREES AND LANDSCAPE OFFICER

##### THE SITE

The site is a Council-owned 18 hole golf course, situated to the north of the A40 and to the west of the rear gardens of houses in The Drive. The course occupies land on a north-south axis, which slopes downhill from the east (a ridge line at approximately 62.0 metres AOD in the north/52.0 metres AOD in the south) to the west (approximately 34.0 metres AOD in the north and 32.0 metres AOD in the south). The west boundary meets the floodplain of the Colne Valley and the River Frays, with the Grand Union Canal lying further to the west. The floodplain is characterised by reservoirs (flooded gravel pits) to the north-west and woodland/scrub with areas of semi-natural grassland and wetlands in the south-west. There is a waste management site on elevated land on the northern boundary which is part-screened by a wooded slope. (see drawing Nos. 01 Rev B, 02a Rev D, 02b Rev D).

The site is situated within the Green Belt. The floodplain to the west is a Nature Conservation Site of Metropolitan or Borough Grade I Importance, within which there are designated Nature Reserves and a Site of Special Scientific Interest (Frays Farm Meadows). Approximately half way up the eastern boundary there is a Nature Conservation Site of Borough Grade II or Local Importance.

The golf course features a number of trees, including mature specimen Oaks and Poplars, semi-natural deciduous woodland and copses. There are younger stands of trees forming landscape buffers between the fairways, thought to have been planted (approximately 30 years ago) as part of the golf course development. Existing trees and woodland are significant landscape features on the course. Together with the existing sloping/gently undulating landform, open fairways and rough grassland, the trees provide a parkland setting and define the location and orientation of greens, fairways and tees within the course. The wooded slopes are also visible to the public from local public footpaths, the towpath (Grand Union Canal) to the west and the M40/A40 to the south.

Trees on the site are not protected by Tree Preservation Order or Conservation Area designation due to the fact that it is owned and therefore controlled by, the Council. However, the licence

agreement with the managing agent, Mack Trading Ltd, stipulates that no work to trees can take place without the prior agreement of the Council.

#### TREE SURVEY

A tree survey and arboricultural implications assessment, together with drawing No.05 Rev A, has been submitted, which follows the recommendations of BS5837:2005. The survey describes the methodology for the survey in section 3. Root protection zones are specified and indicative tree protection measures provided. The implications assessment is detailed in section 4 and temporary tree protection measures are described in section 5.

The report proposes two options for the method of tree protection. One option is the specification of chestnut pale fencing to BS1772 Parts 1 and 4, with the alternative option of Heras fencing to BS5837:2005. The BS5837 specification should be installed around the individual specimen trees. The lower specification, to BS1772, may be acceptable around larger areas of woodland.

The report concludes (section 6) that tree surgery and selected removal should take place prior to the erection of the protective fencing and prior to the commencement of development. It considers that the new golf course layout makes provision for the significant trees on, and adjacent to, the site. The use of no-dig surfacing in selected areas is also recommended. The report notes that further pre- and post-commencement details can be provided, in the form of an Arboricultural Method Statement, by condition.

The development proposal and tree impact plan is provided in Appendix A. The tree assessments are tabled in Appendix B in which 55 No. individual specimen Oaks were tagged and surveyed (T510-T564). Most of these are categorised as A grade trees (good quality and value/should be retained as part of any new development), with a few lesser quality trees including B grade (moderate), C grade (poor) and R (dead or dying/justifying removal on the grounds of sound management).

Further to this, 25 No. tree groups and areas of mixed woodland are described (G1-G25). These groups also vary in quality and value from A-C, with some groups containing trees within the range A-R.

A summary of the tree retention/removal strategy is provided on the Tree Impact drawing No.14 Rev A.

An attached document, Potential Impact on Mature Trees of Drainage Changes Resulting from remodelling Works at Uxbridge Golf Club, has been submitted in response to concerns raised by the local planning authority regarding the possible effects of changes to the water table on the mature Oaks.

The report assesses the effects of the hydrological changes to the land and the potential impacts of the scheme on the trees and concludes (at 6.1) that the effects of excess water and/or physical damage to the trees pose the greatest threat to the trees. It confirms that the design and detailing of the course has taken into account the needs of the trees and no change of levels, physical damage or waterlogging will occur close to the trees, or their root protection areas.

Furthermore, reference is made (6.2) to the ongoing monitoring plan which will be prepared to support the biodiversity management of the site. The report proposes (6.2.3) that tree health/water table monitoring be incorporated within the management plan.

#### THE PROPOSAL

The Project Description report itemises the purpose and rationale in clause 3.1.1, describing the principal drivers for change as: drainage issues, course quality and environment, safety, impact of

new pipeline and the golf experience.

The proposal is further described in the Design & Access Statement (and other supporting documents) for a phased redevelopment and enhancement of southern and central-western parts of the golf course. The development will result in improved playing conditions for the 9th-16th holes and create a new short-game practice area.

The proposal involves no new buildings and is essentially the creation of a new landscape. This will involve the removal of selected trees and much of the grassland, the importation of inert soil, the creation of new land-form, installation of new drainage, new planting, habitat creation and subsequent management of the remodelled 18- hole golf course.

The site boundaries of the current application are shown on drawing No.10 Rev B and involve new landform created from the importation of approximately of approximately 134,942 cubic metres of imported soils. This is a reduced version of the previous submission which required the importation of some 350,000 cubic metres of soils.

The remodelled areas are highlighted on drawing No.11 Rev B. This plan clearly shows the areas of cut and filled land and those areas of land on which no change of level is planned.

A key landscape objective is the retention of individual specimen trees (notably the Oaks), semi-natural woodland, ditches, valley bottom wetland features and footpaths.

Further objectives include the enhancement and improved connectivity of out-of-play habitat areas, by means of corridors of rough grassland and/or vegetated ditches. Elsewhere, a more varied mosaic of habitats is proposed, including the creation of wet and drier areas to encourage biodiversity.

Other stated objectives for the remodelled course are expressed which intend to complement and enhance the local landscape quality and biodiversity of the site while enhancing the playing experience.

The proposed landscape plan ref. 03 Rev B provides details the vegetation typologies proposed for the golf course and the sites designated for habitat creation.

Section 10 of the Design & Access Statement concludes that the impact of the proposed changes will be limited in terms of visual impact due to the existing terrain which is already sloping and the existing use for which no change is proposed.

#### HAUL ROADS

The haul road to facilitate access to the site for the handling and movement (including importation) of soils will create a temporary impact on the site, during the construction period.

Access to the site will be via the existing gated yard, recently constructed and now vacated, by the National Grid during the installation of the Harefield-Southall Gas Pipeline. Vehicles will access the site from the east-bound slip road from the A40, approaching Swakeleys Roundabout.

#### DEVELOPMENT IMPACT

The Impact Statement accompanying the revised application, describes the baseline assessment, the effects on human beings, buildings and man-made features, the effects on flora, fauna, land, water, air and climate, together with other indirect and secondary effects. In section 5.0, the report notes that, while the course will have a more undulating landform, the basic topographical landform, sloping from east to west, will remain.

In section 8.3 the report concludes that as the end use of the site is unchanged there are not

considered to be significant cumulative impacts for the development.

#### ECOLOGICAL IMPACT ASSESSMENT

The proposal includes an Ecological Impact Assessment and extended phase 1 Habitat Survey, dated 2009, which have been referred to Natural England. The report concludes (chapter 6) with an assessment of the effects of the development on the local flora and fauna. At 6.2.9 the potential effects on the scattered Oak trees during the construction phase are considered and, at 6.2.10, the effects post-construction/during operation. The report concurs with the Tree Impact Report (by Weller) that the effects of the earthworks and drainage proposals on the mature Oaks will not be significant.

#### LANDSCAPE CONSIDERATIONS

Saved policy OL2 seeks landscape improvements within the Green Belt.

Saved policy OL26 seeks the protection and enhancement of trees, woodland and landscape features.

Saved policy BE38 seeks the retention of topographical and landscape features and the provision of new planting and landscaping associated with development proposals.

Saved policy EC2 seeks the promotion of nature conservation interests.

Saved policy EC5 seeks the retention of features, enhancements and creation of new habitats.

- The improvement of the existing golf course involves no built development or change of use within the Green Belt.
- The proposed changes to the landform will not result in any new high points, or ridges, which will break the skyline with all newly raised levels accommodated within the existing range of contours.
- The Supporting Statement confirms (4.7.1) that there is a significant reduction in the proposed clearance of trees and shrubs in the current (revised) scheme, or risk to existing trees, now that 85% of the northern section of the course is to be left untouched.
- The tree report confirms that further pre- and post-commencement details can be provided, in the form of an Arboricultural Method Statement. (To be conditioned).
- The changes will create opportunities for extensive areas of native tree/woodland renewal and other vegetation management aimed at enhancing biodiversity. (To be conditioned.)
- The Supporting Statement document confirms (4.6.4) that protective fencing and a cellular track system will be installed under the guidance of the arboricultural consultant before work commences. (To be conditioned)
  - The Construction Environmental Management Plan confirms (4.4.3) that a detailed method statement will be provided by the Project Environmental Manager to ensure that top-soil and sub-soils will be handled and stored in accordance with good practice. (To be conditioned)
  - Details of the post-construction establishment and maintenance of the new landscape is required, together with the handover arrangements and responsibilities of the management company. This is to ensure that the remodelled and planted landscape meets the design objectives satisfactorily. (To be conditioned).

#### BIODIVERSITY CONSIDERATIONS

Saved policy EC1 seeks to minimise impact on nature conservation site.

Saved policy EC2 seeks to promote nature conservation interests.

Saved policy EC 3 seeks to assess the potential impact of development.

Saved policy EC5 seeks the retention of features, and the enhancement and creation of new habitats.

- An Ecological Impact Assessment has been submitted and SSSI protection measures proposed in Appendix D.
- A Tree Survey (document dated November 2009) and Arboricultural Implications Assessment, in accordance with BS5837:2005, has been submitted (see drawing No. 05 Rev A). Trees have been assessed as individuals (and tagged).
- The retention of trees of amenity value has been one of the guiding influences on the location of the earthworks and the layout of the new golf course. At 4.6.4 the Supporting Statement confirms

that protective fencing and a cellular confinement track system will be used along sensitive sections of the route that pass through the central woodland belt. (To be conditioned).

- The use of the existing southern access point, off the A40, is not anticipated to generate any additional landscape impact at the point of entry (at the southern end of the proposed 9th hole).
- The scaling back of the current scheme will result in a reduced area of tree and shrub clearance across the site.
- The objectives of the landscape design and management proposals are intended to enhance biodiversity and benefit wildlife, particularly on the out-of-play areas. (To be conditioned).
- Since the previous application additional biodiversity enhancements have been planned, as outlined in the Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan. (To be conditioned).

#### RECOMMENDATION

I have no objection to the proposed development, subject to conditions TL1, TL2, TL3, TL5, TL6, TL7, TL21 (to include arboricultural method statement).

#### S106 OFFICER

The likely planning obligations arising from this proposal should it be recommended for approval are as follows:

Proposed Heads of Terms:

1. Transport: in line with the SPD a contribution or highways agreement may be sought to deal with the proposed access arrangements resulting from the proposal. Thought will have to be given for how the construction traffic is managed. Given the nature of the scheme TfL may seek a travel plan however, how practical this is given the nature of the application I am unsure.
2. Construction Training: In line with the SPD if the proposal has an estimated construction cost of £2m or a construction period of longer than 3 months then it is likely that a construction training contribution will be sought as a result of this proposal. In line with the formula a contribution equal to £2,500 for every £1m build cost will be sought. It is also likely that a contribution towards the construction training co-ordinator will also be sought.
3. Environmental Improvements: in line with the SPD there may be some form of land restoration bond secured to ensure that the works are undertaken. Please seek comments from EPU over this.
4. Project Management and Monitoring Fee: In line with the SPD if a s106 is entered into then 5% of the total cash contributions will be sought to enable the management and monitoring of the respective agreement.

#### RIGHTS OF WAY OFFICER

Public Right of Way U50 runs from Harvil Road to the Grand Union Canal. It is a legally registered Public Right of Way and was historically established, therefore any change to its defined route or extinguishment must be carried out through a Legal Order.

This footpath is included in the Colne Valley Park and is included in publicised walks and the route is part of direct off road links from Ickenham/Ruislip into Buckinghamshire and the Grand Union Canal.

With this in mind the following comments are provided:

Photographs of the path to be taken before and after construction to record any damage to the route.

No blockages, diversion, closure on the path during construction, if needed by legal order.  
After completion (or during) any damage to the path be made good  
Any future habitat enhancements bordering the footpath must be managed to avoid area becoming overgrown and without management.  
Path to be made as safe as possible during construction, fence etc.  
Re-surfacing of the route with hogging or a type 2 surface leading to the Grand Union Canal as part of improvements would greatly enhance the walking experience of residents and visitors to the borough.

## ENVIRONMENTAL PROTECTION UNIT

The revised proposal is for less soil, the new volume being 134,942 m<sup>3</sup>. This is still a substantial amount of imported soil, and requires the same level of monitoring to ensure that no contaminated soils are imported to the site. The CEMP does provide proposals for the control of soil importation (Chapter 3). The Environment Agency, EA have confirmed in a letter to Hydrock (consultants for Greenspace dated 6 October 2009 that they are satisfied that the works proposed by the previous planning application are not an intolerable risk to controlled waters. It appears that the EA were provided with the Soil Import Values Report (Hydrock R/09174/001) for the Golf Course. As discussed it remains for the EPU to agree the import values to protect human health. Hydrock have justified their import values using a human health risk assessment in the golf course development scenario.

However the EPU were looking for some reductions to ensure that no soils with above background chemical levels are passed for deposit by the testing results. Hydrock contend that the EA test requirements will in any event prevent poor soils passing the tests. The Hydrock report does not appear to be submitted with the application. I do not see why this cannot be agreed and a pragmatic solution achieved to protect human health and ensure the Council's interest in only receiving soils as good as the clean soil already on site. The CEMP seems adequate to control and assess the imported soils providing this monitoring and testing work is carried out regularly. It appears the developer is intending to follow best practice waste guidance. The actions in the Quality Protocol

in the CEMP (Pre-authorisation and Post-delivery) seem adequate and are what we will be looking for in terms of data on the work.

To keep the Council in the loop conditions for submission of import data may be relevant. I think this is extremely important given the past performance of developers on these sites in updating us on works. Otherwise the reports will bypass the LPA and be submitted to the EA under Environmental Permitting or Waste Management legislation. The CEMP confirms that a monthly report would be available to the EA from the Greenspace database if needed, and a final verification report submitted post development to the EA. As the land is the Council's land I think that a monthly

report with the details of sources, testing, and other relevant matters should be submitted to the LPA. Following development a verification report detailing the works and how they meet the requirements of the planning permission should be submitted to the LPA. I have suggested a second condition below to ensure that information is submitted to the LPA regularly.

### Condition

No contaminated soils or other materials shall be imported to the site. All imported soils for landscaping purposes shall be clean and free of contamination. All imported soils shall be inspected and tested for chemical contamination, and the results of this testing shall be submitted to and approved by the Local Planning Authority.

### REASON

To ensure that the users of the golf course development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan.

Note: The Environmental Protection Unit (EPU) must be consulted for their advice when using this condition.

#### Condition

A scheme for the the monitoring and chemical testing for contamination of the imported soil shall be submitted to and agreed with the LPA prior to any development works. The agreed scheme shall be implemented as agreed and a written progress report submitted to the LPA on a monthly basis. Following the completion of works a verification report shall be submitted to the LPA confirming

that the import of soils has been implemented according to the scheme and all of the soils deposited on site are clean and free from contamination.

#### Reason

To ensure that the users of the golf course development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan.

I hope this is useful, the CEMP seems reasonable in what is proposed however clarification is needed on the final import values and submission of data to the LPA. The developer may consider that data should only be submitted to the EA but the EPU considers that if the LPA is updated regularly then there will be benefits in that we will know monthly no contaminated soils have been imported and can brief interested residents if there are enquiries during the works. You may also wish to place a similar condition regarding import volumes and levels for planning compliance purposes.

#### Overall application site

#### Control of specified activities

Start and finish times for vehicle movements accessing and exiting from the Swakeleys roundabout is mentioned in Chapter 5.3.5, EPU would therefore recommend the following condition be applied;

Deliveries to the site shall not occur other than between the hours of 0730 and 1600 Mondays to Fridays only. There shall be no deliveries or collections on Saturdays, Sundays or Bank Holidays

Reason: To safeguard the amenity of surrounding areas.

#### Dust

Current government guidance in PPS23 endorses the use of conditions to control impacts during the construction phase of a development. With this in mind the following condition is recommended;

The development shall not begin until a scheme for protecting surrounding dwellings from dust emitted from the construction works, has been submitted to, and approved by the LPA. The scheme shall include such combination of dust control measures and other measures as may be approved by the LPA.

Reason: To safeguard the amenity of surrounding areas.

#### Chapter 6.2 Construction and Environmental Management Plan

##### Dust, Smoke and Particulates

Appendix B has been completed in line with the current Best Practice Guidance from the Mayor of London specifically for evaluating the potential for dust nuisance from construction sites. The outcome of this assessment is that the site is determined as Low-risk category. As such the relevant mitigation measures set out in Chapter 5 & 6 are appropriately determined.

EPU has a hard copy of the April 2010 version of the CEMP and will retain this for reference should the need arise to contact site.

## HIGHWAY ENGINEER

The existing National Grid construction access off A-40 slip road is proposed to be used for the proposed remodelling works to the golf course. The applicant has suggested that traffic entering the site would arrive from eastbound A40. The Council is the Highway Authority for the Swakeleys roundabout and north and south approaches, Swakeleys Road and Park Road respectively. TfL is the Highway Authority for A40 and the slips roads. Swakeleys Road and Park Road are classified roads and are designated as traffic sensitive streets between 7.30am-9.30am and 4pm-7pm Monday to Saturday. The roundabout and its approaches are heavily congested during the above times.

The proposed delivery hours are between 7:30am and 4:30pm Monday to Friday. An average of 75 deliveries per day (150 two way movements) over a period of 40 weeks has been identified. Vehicles exiting the site would inevitably affect the roundabout and hence other approaches to the roundabout. However, the level of the impact (particularly during traffic sensitivity hours) is unknown, as the breakdown of delivery lorry movements during the day and the associated impact have not been provided. Full delivery and exit routes have also not been submitted. In case of any approval, the above issues should be covered through suitable planning conditions and restrict the delivery vehicles exiting the site during any 30 minutes interval of the traffic sensitivity hours to no more than 3.

Subject to the above issues being covered through suitable planning conditions, no objection is raised on the highways aspect of the proposals.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The whole of the application site is designated as Green Belt. The main policy issue in relation to this development is considered to be the principle of additional development within the Green Belt and its impact on the character and appearance of the Green Belt. Of particular relevance are UDP Saved Policies OL1 and OL4. Policy OL1 states that agriculture, horticulture, nature conservation, open-air recreation and cemeteries are the only open land uses which are acceptable. New buildings are only acceptable if they are essential for the open land use. No new buildings are proposed as part of this development.

London Plan Policy 3D.9 states that Green Belt is to be protected from inappropriate development and as such inappropriate development should not be approved except in very special circumstances. Both Saved UDP Policy OL1 and London Plan Policy 3D.9 flow directly from PPG2, which sets out appropriate uses in the Green Belt, including open recreation. The proposal is for the remodelling and improvements to an existing Golf Course. Golf courses are considered an appropriate Green Belt use.

PPG2 recognises the most important attribute of the Green Belt is its openness. It is considered unlikely that the re-contouring of the land would be visible from afar and as such, would not affect the overall character and openness of the Green Belt. Given the limited visual impact and the fact that openness does not necessarily equate to flat or uniform topography, or negate the inclusion of tall vegetation, it is considered that the proposal does maintain the openness of the Green Belt and would not detract to a detrimental degree from its attractiveness as a recreational destination. The golf course development complies in general with the key theme contained within PPG2 by keeping land permanently open.

Paragraph 1.6 of the PPG states that the provision of opportunities for outdoor recreation near urban areas is a positive role that Green Belt land can play. The proposed

development provides outdoor sport and recreation facilities. This is also in accordance with PPG17, which identifies outdoor recreation as an appropriate Green belt activity.

The imported material is defined as waste material for planning and environmental purposes and the application has therefore been referred to the Mayor. Although it is accepted that the importation of waste materials can be common practice for the creation of new golf course features 134,942m<sup>3</sup> of material is a significant quantity. Annex A of PPS10 'Planning for Sustainable Waste Management' states "that in respect of applications which are properly to be decided by the district planning authority but which involve the use of large amounts of engineering fill for such purposes as levelling or landscaping of sites or construction of bunds and embankments, it may be appropriate for the district planning authority to question the applicant about the purpose of the development".

Although Saved Policies MIN20 and MIN21 identify pollution control measures and the impact of landfilling on the local hydrogeological regime as a material consideration, there are no specific UDP Saved Policies setting out the criteria against which this type of proposal should be assessed. However, it is considered reasonable to ensure that the amounts of waste deposited are the minimum necessary for the intended purpose. As a result, a key issue to be considered in assessing this application is whether the importation of waste materials is essentially financing the proposed development and consequently the key driver behind the proposals, or whether the proposed amount of fill is reasonable and the minimum necessary for achieving the proposed development. Clearly, contributing to the funding of the development is usually one of the purposes of the importation, and if the extent of adverse environmental impact does not outweigh the benefit to be derived from the development, then the question of what exactly constitutes a minimum requirement for purpose may not be so relevant.

The applicants have provided a justification (summarised below) for the amount of imported waste, in order to achieve the following objectives:

A) Drainage Issues

Whilst the course has historically been a well patronised facility, there have been major issues with drainage which result in very wet conditions underfoot on most of the holes across the site, in particular along the lower western side of the site. As a result the course sees far less use in the wetter months with some holes unplayable for 4 to 6 months of the year. A combination of raising and re-grading the existing topography using inert soils imported from construction sites and the installation of a new pipe drainage network will address the drainage issues, allowing the course to be played throughout the year. A more undulating landscape will be created, to add golfing interest and difficulty but also to ensure that surface water moves more rapidly into the drainage network.

B) Course Quality and Environment

For the golf club to remain an active public amenity with a healthy volume of usage it is imperative that the entire course is refreshed, to offer a more attractive golfing layout with exciting new holes offering state of the art green complexes (USGA specification), larger and more attractive tee complexes, better bunkering and more undulating fairways. In addition a significant investment in a new irrigation system will be installed to replace the aging system currently in use.

C) Safety

Safety concerns have been raised by residents of the Drive with golf balls entering back gardens which is due to the position of golf holes in relation to course boundaries, the remodelling offers the opportunity to relocate the landing areas of the existing 9th and

10th holes (new 8th and 9th holes) away from the property fence lines thereby improving the current safety parameters.

#### D) Impact of New Gas Pipeline

Work is necessary to provide additional health and safety protection over the pipeline, repair a significant area of subsidence on the existing 9th fairway resulting from the pipe laying works, reduce the gradient/alignment along the existing 9/10th hole to improve safety of residents and provide a more playable surface.

#### E) Golf Experience

The proposed improvements at the golf course are imperative to ensure that Uxbridge is a course of choice for all standards of golfers in the Borough and particularly its season ticket holders.

It is considered that the applicant has provided a robust justification for the remodelling works in some areas, including drainage, land slippage and the gas pipeline reinstatement. However, it is acknowledged that where soils are being used to create a golfing environment, the question of what makes a good design is very subjective. These are specialist areas and there clearly appears to be some debate as to whether the proposed works would improve course routing and the golf experience as the applicants claim.

It is also acknowledged that in some cases it would be possible to achieve the same range of contour variation with less or even without any soil importation, simply by lowering all the levels and using localised cut and fill to a greater extent, but in these cases the viability of the scheme and the extent of environmental impact (high water table, tree retention etc) would need to be taken into consideration.

Given the above factors, it is difficult to quantify what would be the optimum or minimum amount of fill required to achieve the stated objectives. Nevertheless the general principle of the development can be supported, subject to consideration as to whether the material planning benefits outweigh any planning objections or potential harm, relating to noise and disruption during operations, dust, heavy traffic movements, duration of operations, ecological and landscape impacts. These issues have been addressed below, in relevant sections of the report.

#### **7.02 Density of the proposed development**

Not applicable to this application.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site does not fall within a Conservation Area or Area of Special Character. There are no archaeological issues associated with this application.

#### **7.04 Airport safeguarding**

There are no airport safeguarding issues associated with this application.

#### **7.05 Impact on the green belt**

Saved Policy OL2 seeks landscape improvements within the Green Belt. Saved Policy OL5 will only permit proposals for development adjacent to or conspicuous from the Green Belt if it would not harm the character and appearance of the Green Belt. Saved policy OL26 seeks the protection and enhancement of trees, woodland and landscape features. Saved Policy OL9 seeks to improve the environmental quality of land within the Cone Valley Regional Park.

Uxbridge Golf Course sits in the Green Belt and the Colne Valley Regional Park, on the

west side of the ridge between South Harefield and Ickenham, with a landscape shaped over time by the River Colne and its predecessors. The current golf course uses the natural contours of the land, and the views from points at the top of the ridge, such as the Clubhouse and the public footpath, offer an exceptional vista across the fairways and the Colne Valley beyond.

The most significant impact of the development will be the new landform created from the approximately 135,000 cubic metres of imported soils. The Impact Statement Report describes the effects on the land and considers that, while the course will have a more undulating landform, the basic topographical landform, sloping from east to west, will remain.

A series of cross sections have been provided to illustrate the extent of the landfill proposed. The central area is confined to the western edge of the course. Generally the extent of the works to the southern section of the course is the creation of a series of terraces with land fill between 1- 4 metres, to provide more level fairways.

The improvement of the existing golf course involves no built development or change of use within the Green Belt. The proposed changes to the landform will not result in any new high points, or ridges, which would break the skyline.

All newly raised levels will be accommodated within the existing range of contours. While some areas of trees will be removed to accommodate the new landform, the specimen trees and areas of woodland with the greatest visual landscape and ecological value will be retained and protected as part of the new layout.

Overall, it is considered that the visual impacts of the proposal are unlikely to be of significant detriment to the character of the area, or the perception of openness of the Green Belt, due to the existing landscape character and use and the proposed planting strategy. It is therefore not considered that the amenity and openness of the Green Belt and this part of the Colne Valley would be harmed to a detrimental degree by the proposals, in accordance with Saved Policies pt 1.29 and OL1, OL2, OL5, OL9 and OL26 of the UDP.

## **7.06 Environmental Impact**

Saved Policy MIN20 requires any new proposals for landfill to demonstrate the incorporation of gas control and monitoring schemes, to take account of landfill gas, ensure ancillary activities do not affect pollution control measures and to provide suitable protection for pollution control measures. Saved policy MIN21 requires the impact of land filling on the hydroecological regime to be taken into consideration, including monitoring of the water table and any appropriate mitigation measures once land restoration is complete. Saved policy OE1 seeks to protect areas from development that would result in pollutants, unless sufficient measures are taken to mitigate the environmental impact. Policy OE11 seeks to limit harmful or hazardous substances which are a potential safety risk unless appropriate ameliorative measures are proposed to overcome the risk.

The land at the golf course does not have a contaminative use. However there may be some residual oil in the tee near Uxbridge Skip Hire, from a small oil spill. With regard to existing land contamination, the Environment Agency requires a remediation strategy in the event that contamination not previously identified is found to be present at the site. This condition is to protect the aquifer under the site and could be imposed in the event of an approval. In addition, the applicant would be required to obtain the appropriate exemption or authorisation for any imported waste. However The Environment Agency is

unable to specify what exactly would be required at this stage, due to the limited amount of information provided.

All sub-soils for the remodelling of the course will be imported to the site. The applicants state that imported soils will consist of excavated, uncontaminated earth spoils and soils. However, it is unknown where the applicant is importing the soil from and the precise constituents of any imported soil. As outlined within the 'Description of the Development' section of the planning application, the soil has been defined as being 'discarded'. This would suggest that the soil is an indirect waste from another process or operation. Waste Management Licencing Regulations 1994 defines waste as: "any substance or object which the producer or the person in possession of it, discards or intends or is required to discard." Based upon the above evidence, the planning application is being considered as being a waste application, even though the operations may be exempt from requiring a Waste Permit. The application is therefore referable to the Mayor.

The application documents indicate that all soils for importation will be free of litter (e.g. paper, wood and plastic) and putrescible or biodegradable matter. Samples from all sites of origin will be tested according to current Waste Management Licensing regulations. These soils will be inspected/sampled at source and on site as necessary. There is a waste reception clerk proposed.

A Construction and Environmental Management Plan (CEMP) has been submitted with the application. The CEMP sets out the control of the soil importation process, the construction process, site operations, traffic logistics and the environmental control measures which will be undertaken during construction.

#### QUALITY PROTOCOL

In conjunction with the requirements of the declaration the inspection of the imported soils will be carried out in accordance with a Quality Protocol, agreed Soil Import Values and relevant Statutory Legislation. The Quality Protocol will involve a pre-authorisation and post delivery process as follows;

##### Pre- Authorisation

- The characterisation of the material will be carried out prior to the delivery to site and will include but not be limited to the following;
- Source and origin of the import material with associated evidence such as Site Investigation reports, Soil Analysis/Testing Certificates, previous site history etc. will be obtained and verified that it is suitable for use.
- The process producing the imported material e.g. bulk excavation and location of soils relevant to existing reports.
- The Composition of the import material
- Volume and dates the material is expected from the Producer/Donor site.
- Visit(s) to the Producer/Donor site to inspect material as required to assess the appearance of the import material (including its smell, colour, consistency and physical form).
- Confirmation of the Waste Carrier and the Waste Carrier licence details
- Verification that source material meets agreed Soil Import Values
- On completion of the above a written Pre-Authorisation reference will be issued by letter to the Producer/Carrier for an agreed volume. This will also include details on the agreed delivery routes, delivery times and Site Rules to be adhered to.

##### Post-Delivery

48 hours notice will be required prior to actual receipt of the agreed material at which point a Sales Order referencing the Pre-Authorisation reference will be issued and required to

be signed and returned before deliveries commence. When the inert soils are delivered to site the following checks and balances will be carried out:

- All loads to arrive sheeted.
- Each load to produce a fully completed and signed waste carriers note with pre- authorisation reference clearly marked.
- 3 point individual check of each load of import material to confirm its Characteristics (including its smell, colour, consistency and physical form) will be carried out at; 1. Point of entry; 2. On discharging of load and 3. During the spread and levelling process.
- Carry out representative chemical soil test at the rate of 1 per 500m<sup>3</sup> as a further check against the agreed Soil Import Values
- Visit(s) to the Producer site may also be carried out during the delivery period
- A daily log will be kept of each source of material received (by pre- authorisation reference) and cumulative volume received. The location of where each material has been placed will be logged using a handheld GPS device. The above details will be held on site and on a database for monthly reporting and archiving purposes.
- A final Verification Report will be produced which will be available to the Council and Environment Agency as required by the Code of Practice.

In terms of monitoring and management of import volumes, the site will be zoned into grids indicating calculated volumes for each zone to optimise traffic management routes and minimise noise and dust.

Setting out will be provided (based on Ordnance Survey datum) from control points on site for each zone to enable the site manager to complete the Earthwork areas to the agreed line and level, prior to final shaping of design contours, on a day to day basis.

As a secondary check interim as built surveys (based on Ordnance Survey datum) will be carried out monthly to enable areas to be completed and signed off ready for follow on shaping and golf course construction. This will ensure that the levels agreed within the Planning Permission are being achieved and no over tipping is being carried out.

The monthly as built surveys will be compared with the agreed Planning levels to enable any discrepancies to be highlighted and corrected. This will be made available to the Council on a monthly basis as required by the S106 Agreement.

In terms of how the CEMP information will be obtained on site and forwarded to the Council the following provisions are recommended to be secured by legal agreement:

- A monthly summary submission of soil source and import information will be made to the Local Planning Authority (LPA) and copied to the Council's Environmental Protection Unit (EPU), at the end of each one month of the monitoring period.
- Testing certificates and source site investigations should be submitted as soon as possible as e-documents to the LPA and EPU.
- The monthly submission shall include the source site details, including ground investigations and excavated soil testing, all laboratory testing certificates for soil imports, site inspection comments by the environmental consultant or other suitably experienced person, details of any soils removed, and the locations of soil deposition on site that month and the GPS data for that month.
- The dates of all testing and inspections shall be clearly recorded.
- Confirmation that the developer's independent consultant (currently Hydrock) will be regularly inspecting the site and taking the regular soil samples.
- The final soil verification report referred to in the CEMP shall be submitted to the LPA at the end of the work.

Although the Environmental Protection Unit had some initial reservations about the testing regime at the site, these details are now contained in the Construction Environmental Management Plan. The Plan does not however specify how regularly the Council will be kept informed of the results. However, these controls could be secured by way of a legal agreement, in the event of planning permission being granted.

The developer has submitted a report assessing the human health risks for a future golf course use, and provided standards for chemical contamination within the imported soils on this basis. The Environmental Protection Unit has concerns that some proposed values, although based on future risk, may allow soils for deposit that are not clean inert soils, as are now present on this uncontaminated site. The Environmental Protection Unit advise that using the target levels derived for human health risk may miss the requirement that the Council requires only uncontaminated material at this location and that the contamination criteria is considerably above what is expected for a clean import. The chemical contaminant standards for checking the suitability of the imported soils are therefore not fully agreed between the developer and the Environmental Protection Unit.

Although the chemical contaminant standards for the imported soils have not been agreed, it is not recommended that the application be refused on this basis, as it is considered that these matters could be overcome by the imposition of suitable conditions or planning obligations, in the event of an approval.

A Construction Logistics Plan has been submitted in support of the application. This plan deals mainly with traffic management during the construction phase of the proposal. The key elements of the plan are summarised below.

- Construction access to the site will be via one entrance, the existing National Grid construction entrance off the A40 slip road at Swakeleys Roundabout. The use of this entrance will allow the course to remain open with no construction vehicles required to cross open areas of play.
- The developer will sign up to the Considerate Constructors Scheme (an independent third party monitor) and will adhere to the schemes code of practice.
- the following working hours will be adopted for all import and earthworks activities; Monday-Friday 07.30 - 18.30 (No Deliveries after 16.30). No Saturday working. No Sunday or Bank Holiday working.

#### **7.07 Impact on the character & appearance of the area**

This issue has been covered in Section 7.05 of this report.

#### **7.08 Impact on neighbours**

It is proposed that deliveries of soil using the slip road access will take place between 7.30am and 4.30pm Monday to Friday with no operations on Saturdays or Sunday. Works on the site will continue until 6.30pm during the week with no deliveries permitted after 4.30pm in order to remove any impact on peak rush hour traffic in the area of Swakeleys roundabout. Due to the access being from the A40 it is considered that up to 100 deliveries per day could be received at this entrance, although the proposal is that this is limited to 75.

The Council's EPU have raised no objections to the application in terms of noise and disturbance, subject to the compliance with the condition mentioned above. It is not considered that the operational activities and vehicle movements associated with the proposed development would result in the occupiers of surrounding properties suffering any significant additional noise, pollution, disturbance or visual intrusion, in compliance with Saved Policy OE1 of the UDP.

Safety concerns have been raised by residents of the Drive with golf balls entering back gardens which is due to the position of golf holes in relation to course boundaries, the remodelling offers the opportunity to relocate the landing areas of the existing 9th and 10th holes away from the property fence lines, thereby improving the current safety parameters.

#### **7.09 Living conditions for future occupiers**

There is no residential component to this application.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Saved Policies AM2 and AM7, of the UDP are concerned with traffic generation and road capacity.

The voidspace of material required for construction to meet the proposed levels is 134,942m<sup>3</sup>.

The estimated number of deliveries required will be 14,994. An average estimate of 75 deliveries per day will result in a construction period of 40 weeks. This takes into account the amended working hours from 7.30hrs-18.30 and no Saturday and Sunday working, with no deliveries after 4.30pm.

As the source of material is not yet finalised and is likely to be variable the applicant does not have specific soils data to determine a Particle Density and subsequent optimum moisture content. In addition, the moisture content of the material will also be unknown, but given the programme of works is likely to be wetter rather than drier than the optimum moisture content as material is received in the Autumn and Winter months. Finally compaction of the material on site will not require specific compaction equipment but will be spread and levelled in suitable layers undergoing incidental compaction from the tracks of the machine and movement of other equipment on the site. This means that coupled with the likely moisture content the developers we are unlikely to achieve greater than 10% air voids on compaction (note the best achievable compaction under strict compaction regimes and lab testing conditions is 95% with 5% air voids).

Taking into account the above factors and the likely range of Particle Density of London based materials the Bulk Density will result in the equivalent of more than 9m<sup>3</sup> per lorry load entering the site and likely to be as much as, if not more 10m<sup>3</sup>. This compares with industry norms of 9m<sup>3</sup> when placed material is engineered in at 95% compaction with 5% air voids at optimum moisture content.

For the purposes of this traffic management calculation a 9m<sup>3</sup> per lorry load is assumed.

The previous northern access off Skip Lane (via Harvil Road) will not now be required under the current application. Traffic entering the site will do so only off the A40 slip road, which will require vehicles to approach the site on the East bound A40. Traffic Management arrangements on the approach and slip road for the A40 entrance, which includes the proposed road signage is included as an appendix to the Construction Logistics Plan. The entrance and compound area has been specifically designed to eliminate the need for vehicles to wait on the slip road allowing lorries to continue to enter the site with specific refuge and parking areas should there be any hold ups in the site compound.

No vehicles will be permitted to queue on the slip road to enter the site. In addition a Stop sign will be placed in clear view at the exit point for added safety for vehicles to obey when leaving the site.

TfL, which is the Highway Authority for the A40, has raised no objections to the use of the existing temporary access, subject to the submission and approval of a Construction Management Plan.

The proposed delivery times from 7.30am will allow delivery vehicles to arrive on site and leave the area prior to peak traffic build up returning with a second delivery at the end of the morning peak period. It is estimated that deliveries would start tailing off after 3.30pm and no deliveries would be allowed after 4.30pm, thereby eliminating any problems with peak period traffic which builds up after this time. Delivery vehicles not following site rules will be banned from site with immediate effect.

Parking for site personnel and visitors will be in designated compound areas on site. No personnel will be allowed to park outside these areas at any time.

The Council is the Highway Authority for the Swakeleys roundabout and north and south approaches, Swakeleys Road and Park Road respectively. TfL is the Highway Authority for A40 and the slips roads. Swakeleys Road and Park Road are classified roads and are designated as traffic sensitive streets between 7.30am-9.30am and 4pm-7pm Monday to Saturday. The roundabout and its approaches are heavily congested during the above times.

The proposed delivery hours are between 7:30am and 4:30pm Monday to Friday. Vehicles exiting the site would inevitably affect the roundabout and hence other approaches to the roundabout. However, the level of the impact (particularly during traffic sensitivity hours) is unknown, as the breakdown of delivery lorry movements during the day and the associated impact have not been provided. Full delivery and exit routes have also not been submitted. In case of any approval, the above issues should be covered through suitable planning conditions and restrict the delivery vehicles exiting the site during any 30 minutes interval of the traffic sensitivity hours to no more than 3. Subject to the above issues being covered through suitable planning conditions, no objection is raised on the highways aspect of the proposals.

#### **7.11 Urban design, access and security**

Not applicable to this application

#### **7.12 Disabled access**

This matter is covered within Section 7.22

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

##### **TREES AND LANDSCAPING ISSUES**

Saved Policy OL2 seeks landscape improvements within the Green Belt. Saved policy OL26 seeks the protection and enhancement of trees, woodland and landscape features. Saved policy BE38 seeks the retention of topographical and landscape features and the provision of new planting and landscaping associated with development proposals. Saved policy EC2 seeks the promotion of nature conservation interests. Saved policy EC5 seeks the retention of features, enhancements and creation of new habitats

The majority of the site will contain the same number/intensity of golf holes with associated golf features: tees, fairways, bunkers, greens and semi-roughs. This is no different from what currently exists but the layout of the holes is slightly different. The areas between each hole will be managed as rough unimproved grassland with extensive

areas of planting. There are also a number of areas (particularly to the West of the site) defined as wet/dry zones, which will be managed less intensively and allowed to develop naturally.

The design carefully considered the important trees and woodland copse on site and as a result all of the mature/maturing Oaks and mature/maturing woodland copse have been retained. The revisions to the scheme mean a large reduction in the proposed clearance of trees and shrubs. The only mature trees to be removed, in both the December 2009 proposals and the original July 2009 application, were non-native poplars, which have a limited ecological contribution and are arguably an inappropriate species in a British context. Almost all of these will now be retained, with only two groupings to be cleared from adjacent to the 15th fairway.

The question of potential harm to existing oaks as a result of ground level changes was addressed in the Tree Impact Statement submitted in December and agreed with the London Borough of Hillingdon Landscape Architect in previous pre-application discussions. Any remaining concerns regarding the Oaks is much reduced now that 85% of the northern section of the golf course is to be untouched by remodelling works. whilst the less valuable (both aesthetically and ecologically) Poplar trees (usually within groups) have been removed in places to allow for the upgrade of the golf course, these groups (with occasional additional species) would most likely have been planted as part of the original golf course design to divide fairways. Being non-native and out of character with what is essentially an Oak woodland/wet woodland landscape character, it was considered that the clearance of the Poplars (less than 30 years of age) would not only improve the landscape qualities of the site but provide the opportunity to plant more appropriate and sustainable native species. The use of more appropriate shrub species and their careful location in the area of holes 2, 3 16 and 17 will allow improved growing conditions for the golf course.

The impact of the build up in levels on the existing mature Oaks was raised as a concern by the Landscape Officer. In order to satisfy the local authority that there will be no detrimental impact on these trees, an additional report has been prepared that highlights the issues involved. The report covers the existing hydrological conditions, the potential for the water table and soil moisture conditions to change, the likely impact this may have on the trees and measures that can be undertaken to identify and combat at an early stage any stress affecting particular trees. The submitted information includes comments indicating the proximity of fill, potential for impact and mitigation measures for each surveyed tree. The reduction in application area to avoid works on the higher part of the site means that a number of mature oak trees that would have been down-slope of imported soils will now not be.

To remain in top condition despite weather conditions and volume of play, the greens are to be at least 500-550m<sup>2</sup> in size. This also allows for the proposed undulations on the surface for putting and chipping interest. The total teeing area for each hole will be at least 450m<sup>2</sup> so that winter mats can be avoided whenever possible. Bunkers have been carefully determined to limit intrusion from key viewpoints. Grass swales and hollows have been employed in the most visually sensitive locations.

The proposed planting has been designed to reflect the surrounding native vegetation and enhance the habitat and biodiversity of the golf course. A further consequence of the planting proposals will be additional golfing interest, seclusion and a degree of additional safety within the site.

A key theme within the landscape strategy is the development of wildlife corridors across the site which will not only link habitats within the site but also those beyond the course boundaries especially to the west of the site. 1m to 10m buffer zones, areas of unmanaged grassland, will be left along the boundaries and around sections of the proposed ponds/wet dry zones.

The Tree and Landscape Officer raises no objections to the proposed landscape strategy and the tree protection measures including those to individual Oaks and subject to a number of conditions, considers the scheme to be acceptable.

## ECOLOGY

PPS9 outlines the Government's commitment to sustainable development and in particular to conserving the natural heritage of the country for the benefit of this and future generations. Policy 3D.12 of the London Plan states that the planning of new development and regeneration should have regard to nature conservation and biodiversity and opportunities should be taken to achieve positive gains for conservation through the form and design of development. Policy EC3 of the UDP requires proposals for development in the vicinity of sites of nature conservation importance to have regard to the potential effects on such sites on changes in the water table and of air, water, soil and other effects, which may arise from the development. Regarding the creation of new habitats, Policy EC5 of the plan seeks the retention of certain on-site ecological features enhancement of the nature conservation and ecological interest of sites or create new habitats.

The development site lies directly adjacent to the Fray's Farm Meadows Site of Special Scientific Interest (SSSI) and close to the Denham Lock Wood SSSI. Both of these sites are also part of the Mid Colne Valley Site of Metropolitan Importance, which is a section of the Colne Valley with a diverse range of high quality habitats. These reserves play an important role within the broader landscape of the Colne Valley and contribute to the region's biodiversity.

Uxbridge Golf Course is a valley side/valley bottom located course that currently drains into water features located on the western perimeter of the site that also have connectivity with adjacent designated sites comprising Frays Farm Meadows Site SSSI, Frays Valley LNR and (more distantly) the Frays River. Because of this direct hydrological pathway between the golf course, the SSSI and LNR, the current operation of the site, the proposed construction phase associated with the planning application and the longer-term operation of the remodelled golf course may have an influence on the functioning and status of the SSSI and its designated features of interest. Potential impacts include changes in the hydrological regime and water levels within the designated sites due to changes in the golf course topography and drainage design and potential changes in water quality primarily due to silt-laden runoff within the construction phase and application of fertilisers and pesticides during golf course operation.

A series of detailed documents have therefore been prepared to sit alongside this EclA to provide the reassurance that potential impacts to the adjacent designated sites have been minimised to an

acceptable level and that construction and operation of the remodelled golf course is overall likely to result in positive ecological impacts. These include:

- A Biodiversity Mitigation, Management and Monitoring Plan (BMMMP) that provides key details of biodiversity mitigation and enhancement measures, including habitat creation and long-term management, in terms of what will be done, how, where and when;

- A detailed Water Management Plan (WMP) that sets out how surface water drainage will be controlled and managed within the site, including sensitive control measures to allow attenuation of water where necessary and as required by Natural England and the Wildlife Trust; and
- A Construction Environmental Management Plan (CEMP) that sets out measures to minimise the risk of construction pollution and pollution response measures, together with how other effects from the construction phase will be minimised including lighting, dust, noise and waste.

In summary, mitigation and enhancement measures have focused on minimising effects from the construction of the site in combination with extensive habitat creation and long-term management to benefit biodiversity across the entire golf course site. These include:

- A range of measures to ensure sediment-laden runoff is managed within the site during construction and is not allowed to drain into adjacent designated sites, including measures such as silt fences and grips;
- Measures adopted during construction to ensure no harm, injury or disturbance to protected species. This will include measures undertaken under Natural England licences to disturb badgers and water voles as well as measures to exclude reptiles from the site;
- Retention and protection of all existing mature oak trees within the golf course site;
- Retention and enhancement of existing wetland features within the site (including wet ditches, wet grassland, stream and ponds) primarily aimed at water vole but providing benefit for a wide range of species;
- Creation and long-term management of extensive new wetland habitat within the valley bottom of the golf course, including wet ditch, wet grassland and ponds. These will include a number of flow management measures such as manually-operated sluices to provide the flexibility to control volume and rate of flow into the adjacent designated sites but will also provide extensive new habitat for water vole and a wide range of other species;
- Retention and long-term management/ enhancement of all semi-natural woodland within the golf course (predominantly within Harefield Hall and The Lodge Site of Borough Grade II Importance);
- Retention, enhancement and long-term management of existing golf course plantations aimed at a more natural woodland structure and improved habitat connectivity;
- Creation and long-term management of new native species-rich woodland blocks;
- Creation of species-rich dry grassland within the new rough out-of-play areas and long-term management aimed at increasing the biodiversity value of rough grassland across the whole golf course site; and
- Habitat creation measures aimed at a range of species, including erection of bat boxes, bird boxes, owl boxes and small mammal boxes plus retention of deadwood, creation of log piles and stag beetle loggeries and reptile hibernacula.

This BMMMP is intended to be a living document, and will be updated in response to the completion of the course construction and initial mitigation and habitat creation measures. From this point, an annual inspection of the course area by a suitably experienced ecologist will take place, with the findings of these inspections being used to update the BMMMP. This is intended to ensure that formal mechanism exists to:

- confirm the efficacy of the proposed mitigation and enhancement;
- identify any deterioration in habitat quality and appropriate management responses; and
- confirm whether the proposed management response has occurred and if it was successful.

The Ecological Impact Assessment submitted as part of this application states that there are a number of potential effects of the proposal on the Fray's Farm Meadows SSSI during construction and operational phases. The most significant of these are:

- during the construction phase, the opportunity for the erosion of soil and its down slope transport into the SSSI, which could lead to die back of vegetation and localised reduction in water oxygen levels, with implications for aquatic invertebrates;
- a slight increase to the rate which water run off (via stream flow) enters the SSSI;
- all runoff/drainage from the site will be directed to the SSSI during both the construction and operational phases;
- during the operational phase, the likelihood of unpredicted potential pollution to increase;
- the overall effect of the scheme will be to drain the course more rapidly than currently.

The EclA suggests that these will be subtle changes and will not impact on the SSSI interest features. The report also states that there is scope for designing in buffering areas and incorporating sediment management measures.

Natural England, London Wildlife Trust (LWT) and Hillingdon Natural History Society (HNHS), who manage the adjacent nature reserves on behalf of the Borough, previously raised a number of concerns in relation to the refused scheme, particularly in relation to the potential impacts on the hydrological systems of the Colne Valley. LWT manage Fray's Farm Meadows and Denham Lock Wood both designated as Sites of Special Scientific Interest (SSSI). LWT had earlier pointed out that the pattern of water flow and retention throughout the golf course and the adjacent Local Nature Reserve is complex and were concerned that there would be unforeseen effects within the SSSI, where the ditches are a vital part of the ecological system which gives the SSSI its value. In addition LWT were concerned about ditch water quality where golf course run-off may find its way into Frays Farm Meadows SSSI. Since there is little information relating to the quantity and quality of water that will enter the SSSI, there can be no certainty of the likely impact of this development on the SSSI

Natural England now considers that the applicant has responded to its earlier comments by producing considerable supplementary information to address some of the issues raised and does not object to the current proposals, subject to the inclusion of conditions and the proposals being carried out in strict accordance with the terms of the application and the submitted plans. The key issues are set out below:

#### Water Quality

Natural England point out that, there is limited information available regarding the detailed hydrology of the SSSI, on which to base judgements concerning the impacts of the proposal. The suggested hydrological isolation of the SSSI from the golf course at groundwater level has not been conclusively demonstrated and it is not likely that this evidence can be gathered in the near future. Therefore it is not possible to rule out this pathway between the golf course and the SSSI.

However, Natural England acknowledges that the Water Management Plan, together with the addendum to the Ecological Impact Assessment and Biodiversity Mitigation, Management and Monitoring Plan, addresses as far as is possible its concerns with regard to alterations to the existing hydrology, and the impact these may have on the SSSI.

Based on the modelling predictions that water flowing from the golf course to the SSSI will be the same as present levels or higher, Natural England accepts that any overall negative impact on the SSSI can be expected to be minimal. The main concern is that London Wildlife Trust, who manage the site, should have control over water flowing to the SSSI from the golf course, such that it is available to the SSSI if required, but can be

diverted away if necessary. Extra measures to deal with this issue have been submitted with this application, and Natural England requires that details of the exact location and design of water control features will be submitted for approval, to ensure that they deliver the required water movement across the drainage system and this has been secured in a suitably worded condition.

Natural England considers that the detailed water quality monitoring regime and feedback mechanisms set out in the Water Management Plan, and expanded in the letter of addendum, are appropriate to ensure that possible impacts on the SSSI can be responded to effectively. The proposed measures include the undertaking of a comprehensive baseline survey to establish current conditions and fully inform the subsequent water quality monitoring. This survey and monitoring package has been secured by a suitably worded condition.

In terms of the irrigation of the re-contoured golf course, the application states that water will be applied to the golf course for irrigation purposes most evenings during periods without rain. However, it does not state where this water would be sourced from. LWT is concerned that the use of fertilisers on the course and the increased drainage will affect soil quality in Denham Lock Wood SSSI. LWT points out that no nature reserve should have any fertiliser added, as this changes the plant communities, encouraging species which thrive on nutrient rich soil. These vigorously compete with rarer plants which are an essential part of the reason the SSSI exists. Natural England would expect to receive assurance that the proposed irrigation and drainage would not affect the water table or hydrology of the surrounding sites, including the SSSI.

#### Imported materials

Natural England and LWT previously raised concerns relating to the lack of information on the potential impacts of the imported materials on the SSSI, including information relating to the quantities of sediment currently entering the SSSI and how this would be impacted by the proposals. However, with regard to the current application and the information submitted, Natural England have not raised this as an issue.

#### Species issues

The Ecological Impact Assessment raises issues of protected species, including bats and water voles. The Assessment (EclA) identifies the presence of water voles in the ditch adjacent to the western edge of the proposed works, close to the existing footpath and track. No development works are proposed to the ditch and a buffer zone of at least 5m will be maintained, including robust sediment barrier fencing. The ecological mitigation measures include new ditches and swales parallel to the existing boundary channels, to create habitat for water voles and other wildlife and to increase water storage capacity (with sluice mechanisms to permit control of flow into the SSSI). A rough grassland/reed buffer zone is to occupy the space between the existing and proposed drainage features.

LWT also previously raised concerns that the proposals will prejudice its ability to effectively manage the nature reserves, as the existing track does not appear on the planning application plans. However, the letter of addendum includes provision for London Wildlife Trust, their graziers and Natural England to enjoy continued access to the SSSI via the application site, and in the case of the Trust and graziers or contractors carrying out work on their behalf.

The Ecological Impact Assessment together with the Construction Environmental

Management Plan (CEMP) and Biodiversity Management and Monitoring Plan (BMMP) address the majority of the issues, previously raised in objecting to the proposals and their implementation will ensure the protection of the adjacent SSSI. Natural England therefore do not object to this application.

Natural England supports the proposed habitat enhancement and creation measures within the golf course site and there are also positive aspects to the native planting schemes and species projects. LWT also previously stated that many ecological aspects of the proposals are covered quite thoroughly in the application's supporting documents. Indeed, there is the potential for aspects of these to contribute significantly to the biodiversity of the area where they relate to the restoration of the areas affected by the gas pipeline. Natural England supports the recommendations made for mitigation measures and habitat creation and management in the Biodiversity Mitigation, Management and Monitoring Plan, which have been secured by condition.

In conclusion, it is considered that the submitted ecological assessment has demonstrated that the proposed development could be completed without detriment to the recognised ecological value of this area and the biodiversity interests of the neighbouring sites. It is therefore considered that the ecological interests of the site and locality would be protected, in compliance with Policies EC1 and EC3 of the Unitary Development Plan Saved Policies (September 2007), London Plan Policy 3D.14 and PPS9 (Biodiversity and Geological Conservation).

With regard to London Wildlife Trust's previous concern about access to the Frays Farm Meadows SSSI, the current access route follows the public right of way until it reaches the 8th tee, at which point it heads left and follows the course maintenance track along the western boundary of the site until it reaches the access gate alongside the 13th fairway. The applicant has no intention of withdrawing vehicular access for LWT, but propose an alteration to the route that will enable the proposed ecological enhancement to go ahead. The alternative route between car park and SSSI access point, is actually much shorter than the current route. The proposed route is unaffected by the construction works. There is no intention to make any alteration to the public right of way. Continued access to the adjoining nature reserves is to be secured by way of the S106 Agreement.

After taking into account these mitigation and enhancement proposals, the assessment of likely effects confirmed that no negative significant effects were predicted. Implementation of measures set out in detail within the BMMMP, CEMP and WMP mean that no likely significant effects to statutorily and non-statutorily designated sites will occur, including Frays Farm Meadows SSSI, Fray's Valley LNR and Mid- Colne Valley SMI. However, significant positive effects (i.e. significant net biodiversity gain) from the proposals on biodiversity are predicted due to the extent of the proposed habitat creation and implementation of the Biodiversity Mitigation, Management and Monitoring Plan that will ensure optimum habitat creation techniques and management for biodiversity.

#### **7.15 Sustainable waste management**

PPS10 stresses the need for a sustainable structural approach to waste management, putting into context the waste hierarchy, reduction, re-use, recycling and composting, energy recovery and disposal. Development of this site and the re-use of inert waste will make a significant contribution towards London's targets for inert waste re-use and recycling.

#### **7.16 Renewable energy / Sustainability**

The Mayor does not consider that the application needs to be accompanied by an Energy

Statement.

## 7.17 **Flooding or Drainage Issues**

### Flooding

Policies OE7 and OE8 seek to ensure that new development incorporates appropriate measures to mitigate against any potential risk of flooding.

A Flood Risk Assessment has been submitted as part of the application taking into consideration the principles of Planning Policy Statement 25 (PPS25) and other relevant regional and local policies. The Assessment identifies a small section of the site lies within Flood Zone 3a. No new impermeable areas are proposed. The development has been designed to improve the drainage and reduce the flood risk on site. None of the development area will drain off site so surface runoff from the development will have no impact on neighbouring land. The impacts of climate change have been reviewed in terms of increased precipitation intensity and increased flood levels. Although this shows that runoff generated from the site may increase slightly, there is plenty of capacity in the marshland, buffer zones, drainage ditches and swales for this additional runoff. The site is above climate change flood levels, except the marshlands. It is important to carry out regular checks and maintenance of the hydraulic structures, such as drains and ditches, verifying good performance and removing sediment and vegetation. The traffic on site during the remodelling of the two areas should be kept to a minimum and cease when the soil is waterlogged or very wet.

The Environment Agency has raised no objections to the scheme, subject to a condition requiring the development to be only be carried out in accordance with the approved Flood Risk Assessment (FRA) Final Report K0148 (Rev 1) and the following mitigation measures detailed within the FRA:

Limiting the surface water run-off generated by the 1 in 100 year critical storm so that it will not exceed the run-off from the undeveloped site and not increase the risk of flooding off-site. This is to prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site.

Subject to the recommended condition, it is considered that development would not increase the risk of flooding and therefore is in accordance with Policies OE7 and OE8 of the Hillingdon Unitary Development Plan Saved Policies 2007, Policy 4B.6 of The London Plan (February 2008) and Planning Policy Statement 25: Development and Flood Risk.

### Drainage

The applicants submit that whilst the course has historically been a well patronised facility, there have been major issues with drainage, which result in very wet conditions underfoot on most of the holes across the site, in particular along the lower western side of the site. These problems are associated with the slope down from the east, the impermeable clay soils and the naturally high water table. As a result, the course sees far less use in the wetter months with some holes unplayable for 4 to 6 months of the year. Poor drainage increases wear on sports turf, hampers maintenance and creates boggy muddy areas unfit for play. 3% to 5% slopes are required to achieve efficient surface and subsurface fairway drainage, and there must be sufficient space between the prevalent water table and the ground surface for a sub-surface piped drainage network to be installed.

A major justification for the remodelling works to the golf course has therefore been to improve the drainage to address these problems. A combination of raising and re-grading

the existing topography, using inert soils imported from construction sites and the installation of a new pipe drainage network are proposed to address these drainage issues, allowing the course to be played throughout the year. A more undulating landscape will be created, which would ensure that surface water moves more rapidly into the drainage network. Maintenance and therefore presentation of the course will be much easier to implement, which will be to the long term benefit of the facility.

An irrigation system will be re-installed to cover greens, tees and approaches. Soakaways and open ditches are proposed to essentially provide a catchment area for any runoff. These catchment zones will also provide both an ecological and visual amenity as they will be wet/dry in nature and support marginal species of flora.

There is no objection in terms of flood risk, to improving the drainage of the golf course, provided the development is carried out in accordance with the submitted Flood Risk Assessment, which is secured by condition, as recommended by the Environment Agency.

#### **7.18 Noise or Air Quality Issues**

The Environmental Protection Unit has advised that Construction and Environmental Management Plan - Dust, Smoke and Particulates Appendix B has been completed in line with the current Best Practice Guidance from the Mayor of London, specifically for evaluating the potential for dust nuisance from construction sites. The outcome of this assessment is that the site is determined as Low-risk category. As such, the mitigation measures set out in Chapters 5 and 6 are appropriately determined. The proposed mitigation strategy is to be secured by conditions.

#### **7.19 Comments on Public Consultations**

over 200 adjoining residents and occupiers were consulted on 21 May 2010. In addition, Hillingdon Natural History Society, Ickenham Residents Association, together with various statutory and non statutory bodies and organisations were consulted. Given that the applicant belatedly submitted some missing/additional information, the Local Planning Authority issued letters giving a further 14 days to comment on the planning application. The letters went out to everyone previously consulted. The principle issues raised in the submissions have been addressed in the main body of this report under the relevant headings.

#### **7.20 Planning Obligations**

Policy R17 of the Hillingdon UDP is concerned with securing planning obligations for environmental improvements and enhancement. This UDP policy is supported by more specific Supplementary Planning Guidance. Detailed negotiations have been entered into with the developer in respect of these obligations and the applicants have indicated that they are prepared to enter into negotiations with respect to certain obligations. The following broad Section 106 Heads of Terms are recommended:

- (i) Improvements to the public footpath (boardwalks)
- (ii) A land restoration bond (this would need to be properly quantified and justified as a protective measure).
- (iii) Implementation of an Environmental Management Plan (particularly important as there is a nature reserve and SSSI in close proximity to the site).
- (iv) Provision of London Wildlife Trust, their graziers and Natural England to enjoy continued access to the application site.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues relating to this site.

#### **7.22 Other Issues**

PUBLIC FOOTPATH

Should the application be approved, a temporary Stopping up Order may be required for the temporary haul road to cross the existing public footpath. The public footpath will be subject to vehicular crossing for the short period of time in which works take place on the 16th hole, but the proposed temporary fencing and warning signage will ensure that there is no danger to the public. Pedestrian access to the Nature Reserve will be maintained, via a route around the back of the 16th tees screened from the works by protective fencing.

## HEALTH AND SAFETY

The absence of any alteration to the course routing means that there is no issue regarding balls being more likely to enter the Uxbridge Skip Hire premises or for there to be conflict between holes 2 and 4. The proposed new 7th hole will not now be required, but will be replaced by a short-game practice area. The teeing area for this has been pushed further south, and screened by proposed mounding and planting, to avert any safety risk in relation to shots hit from the 8th tee.

The widening and flattening of the 9th and 10th fairways pushes the target line further away from the boundary with houses on The Drive, thus reducing the likelihood of misdirected shots entering residential premises.

The hillside location of Uxbridge Golf Course means that it never has been and never will be as easily navigable by the disabled or less able-bodied as some courses but given the widening of the 9th and 10th fairways and the provision of shallower access slopes to offset any steeper sections the overall impact of the remodelling works in health and safety terms will be positive.

## COURSE PLAYABILITY

The absence of works in the northern part of the site means that the proposed routing alterations will no longer take place, so there is no significant alteration to course length. The applicants state that efforts have been made to strike the best balance between course improvement, project duration, safety and course maintainability on the southern holes. The southern end of the golf course has a 20 metre level difference between the eastern and western boundaries and consequently the landing areas on holes 9 and 10 are more steeply sloping than is desirable however levelling them out to enhance the landing areas has the unavoidable effect of creating steeper slopes in other areas. They consider that the latest proposals make the golf holes more playable without creating steep slopes in areas that golfers are likely to often hit balls. The question of what makes a good design is very subjective. These are specialist areas and there clearly appears to be some debate as to whether the proposed works would improve course routing and the golf experience as the applicants claim, however it is not considered that a refusal on this basis could be justified. Overall the scheme is an improvement on the previous application and in this regard is considered to overcome refusal reason 5 of the previous application.

## **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the

Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

#### **9. Observations of the Director of Finance**

Not applicable to this application.

#### **10. CONCLUSION**

Planning permission is sought for the remodelling and overhaul of the the southern component of the existing golf course and a small component of the northern component of the course through the importation of recycled soil and other recycled inert materials, land-forming, installation of new drainage, planting and subsequent management (with the inclusion of holes outside of the planning application boundary) as an 18 hole golf course.

The key elements of the proposal involves the importation of 134,942m<sup>3</sup> of inert construction material and soil for landscaping and re-contouring purposes, using the existing access off the A40 slip road, for deliveries of the material.

The imported material is defined as waste material for planning and environmental purposes and the application has therefore been referred to the Mayor.

The general principle of the development is considered acceptable, as the proposal is for the remodelling and improvements to the existing Golf Course, an appropriate Green Belt use. It is considered that the proposal complies in general with the key theme contained within PPG2, Saved UDP and London Plan Green Belt Policies, by keeping the land permanently open.

In terms of the impact on the Green Belt, the proposed changes to the landform will not result in any new high points, or ridges which would break the skyline, as all newly raised levels will be accommodated generally within the existing range of contours. While significant areas of trees will be removed to accommodate the new landform, the specimen trees and areas of woodland with the greatest visual landscape and ecological value will be retained. Generally, it is considered that the visual impacts of the proposal are unlikely to be of significant detriment to the character of this part of the Green belt and

Colne Valley Regional Park.

The application has demonstrated that the proposed development could be completed without detriment to the recognised ecological value of this area, including the adjacent Nature Conservation Sites of Metropolitan or Borough Grade I and II Importance, within which there are designated Nature Reserves and a Site of Special Scientific Interest (Frays Farm Meadows). The application has also overcome concerns raised to the previous application with respect to the impact of the development on the hydrology and water quality in these nature conservation sites and the potential impact on populations of water voles and badgers.

All construction traffic will access and exit the site via the existing A40 slip road, the access used for the recent gas pipeline works, the use of which has been approved in principle by Transport for London. The previous northern access off Skip Lane (via Harvil Road) will not now be required. It is therefore considered unlikely that the proposals would lead to conditions detrimental to road safety or to traffic congestion on the local road network.

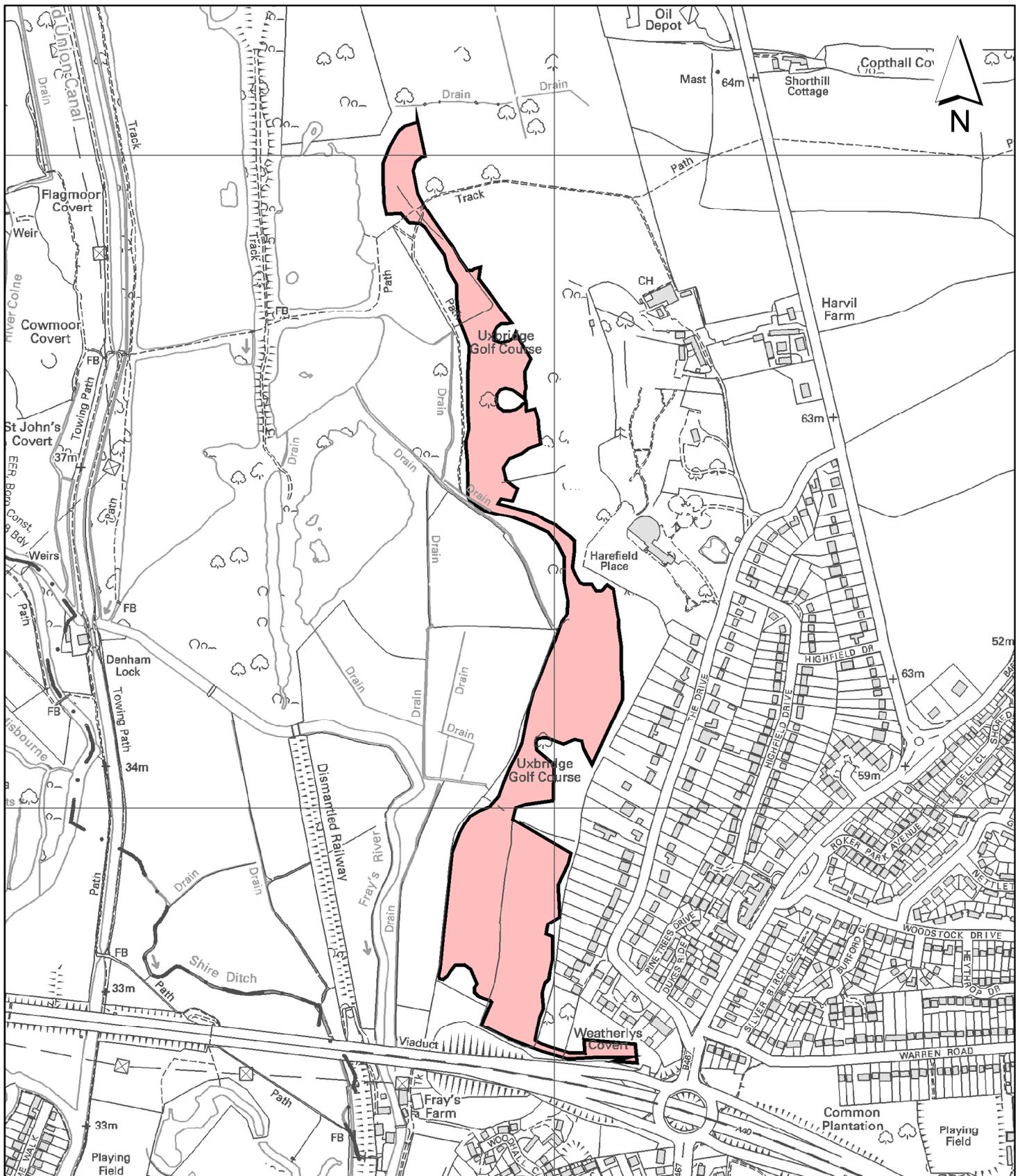
Approval is therefore recommended accordingly.

## **11. Reference Documents**

PPS1: Delivering Sustainable Development February 2004  
PPG2: Green Belts January 1995  
PPS7: Sustainable Development in Rural Areas July 2004  
PPS9: Biodiversity and Geological Conservation September 2005  
PPS10: Planning for Sustainable Waste Management September 2005  
PPG13: Transport March 2001  
PPG16: Archaeology and Planning November 1990  
PPG17: Open Space, Sport and Recreation September 2001  
PPPS 25: Development and Flood Risk  
Unitary Development Plan Saved Policies (September 2007).  
Responses from consultees

**Contact Officer:** Karl Dafe

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Uxbridge Golf Club  
The Drive  
Ickenham**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**4601/APP/2010/1103**

Scale

**1:8,000**

Planning Committee

**North** Page 71

Date

**July 2010**



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** SOUTH RUISLIP LIBRARY, PLOT A VICTORIA ROAD RUISLIP

**Development:** Erection of a three storey building to provide for a new library, adult learning facilities, 10 one-bedroom flats, together with associated parking and external works (involving demolition of existing library building).

**LBH Ref Nos:** 67080/APP/2010/1419

**Drawing Nos:** 2009/D42A/P/02 (Location Plan)  
2009/D42A/P/03 (Topographical Survey)  
2009/D42A/P/04 (Tree Removal and Demolition Plan)  
2009/D42A/P/05 (Amenity Space Analysis)  
2009/D42A/P/08 (First Floor)  
2009/D42A/P/09 (Second Floor)  
2009/D42A/P/10 (Roof Plan)  
2009/D42A/P/11 (Street & South East Elevations)  
2009/D42A/P/12 (Rear and North West Elevations)  
2009/D42A/18 (Ground Floor Plan)  
2009/D42A/19 (First Floor Plan)  
2009/D42A/P/20 (Ground & First Floor)  
2009/D42A/P/21 (Ground & First Floor)  
E/A1 2452/1 Rev. A (Hard and Soft Landscape)  
Design and Access Statement dated June 2010 ref: 200942D/A/P  
Transport Statement dated June 2010  
Noise Assessment dated May 2010  
Energy Statement dated June 2010  
Arboricultural Impact Assessment Report dated 14/06/10  
Flood Risk Assessment dated April 2010  
Preliminary Contamination Assessment Report dated September 2009  
Phase II Geoenvironmental Assessment Report dated September 2009  
Letter from MLN dated 11/06/10 ref: DMB/722474/004/JEM - Contaminated Land Assessment  
2009/D42A/P/07 A (Ground Floor)

**Date Plans Received:** 16/06/2010                      **Date(s) of Amendment(s):** 16/06/0010  
**Date Application Valid:** 16/06/2010                      23/07/0010

### 1. SUMMARY

This application seeks full planning permission for the demolition of South Ruislip Library and the redevelopment of the site to provide a three-storey high, mixed use development comprising a new replacement library, adult learning facilities, 10 residential units and associated car parking and landscaping. The site is located on the north east side of Victoria Road in South Ruislip.

The proposal would provide new and improved replacement library facilities in addition to an adult education centre which, it is understood, could replace existing facilities at Ruislip High School in the future.

It is not considered that the proposed development would have a significant detrimental impact on the character or appearance of the surrounding area or on the residential

amenity of neighbouring occupants. An acceptable internal living environment would be created for future occupants and sufficient amenity space is provided. The proposal is considered to comply with relevant UDP and London Plan policies and, accordingly, approval is recommended.

## **2. RECOMMENDATION**

**(This authority is given by the issuing of this notice under Regulation 3 of the Town and Country Planning General Regulations 1992 and shall enure only for the benefit of the land)**

**a) That the applicant being the local authority and being the only legal entity with an interest in the land which is the subject of this application, and hence being unable to enter into a section 106 Agreement with the local planning authority, completes a Statement of Intent (Statement) to make provision for the following matters as would a third party developer under a section 106 planning obligation:**

**i) The provision of highway improvements along Victoria Road, including right turning lane, reinstatement of the existing access and creation of new access arrangements.**

**ii) The provision of a contribution of £12,311 towards educational facilities.**

**iii) The provision of a contribution of £3,250 towards healthcare facilities.**

**iv) The provision of a contribution of £345 towards local library facilities**

**v) A contribution of £2,500 for every £1 million build cost to provide for construction training.**

**vi) A cash contribution equal to 5% of the total cash contribution to enable the management and monitoring of the requirements of the legal agreement.**

**b) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in preparation of the Statement and any abortive work as a result of the agreement not being completed.**

**c) That planning officers be authorised to negotiate and agree details of the proposed Statement.**

**d) That if by 15th September 2010, the Statement has not been completed, delegated powers be given to the Director of Planning and Community Services, at their discretion, to refuse planning permission for the following reason:**

**1. The development is not considered to have made adequate provision, through planning obligations, for contributions towards educational facilities, healthcare facilities, library facilities, construction training and monitoring. Given that a Statement of Intent, or other appropriate legal agreement, has not been secured to address this issue the proposal is considered to be contrary to Policy R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's Supplementary Planning Document for Planning Obligations (Adopted July 2008).**

**e) That subject to the above, the application be deferred for determination by the Head of Planning and Enforcement under delegated powers, subject to the completion of the Statement.**

**f) That if the application is approved, the following conditions be attached:-**

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 OM1 Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

**REASON**

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5 M3 Boundary treatment - details**

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building is occupied. Development shall be carried out in accordance with the approved details.

**REASON**

To safeguard the visual amenities of the area in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**6 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The

plan must show:-

- (i) Existing and proposed site levels.
- (ii) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

#### REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **8 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.

5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **9 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **10 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning

Authority first gives written consent to any variation.

**REASON**

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**11 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

**REASON**

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**12 MCD10 Refuse Facilities**

No development shall take place until details of facilities to be provided for the covered, appropriately sign posted, secure and screened storage of refuse at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

**REASON**

In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

**13 DIS1 Facilities for People with Disabilities**

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

**REASON**

To ensure that adequate facilities are provided for people with disabilities in accordance with Policies AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policies 3A.13, 3A.17 and 4B.5.

**14 DIS2 Access to Buildings for People with Disabilities**

Development shall not commence until details of access to building entrances (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved in writing by the Local Planning Authority. The approved facilities should be provided prior to the occupation of the development and shall be permanently retained thereafter.

**REASON**

To ensure that people with disabilities have adequate access to the development in accordance with Policies AM13 and R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies

3A.13, 3A.17 and 4B.5.

**15 DIS4 Signposting for People with Disabilities**

Signplates, incorporating a representation of the Universal Wheelchair Symbol, should be displayed to indicate the location of convenient facilities to meet the needs of people with disabilities. Such signplates should identify or advertise accessible entrances to buildings, reserved parking spaces, accessible lifts and lavatory accommodation, manageable routes through buildings and availability of additional services. Signs for direction and location should have large characters or numerals and clearly contrast with the background colour.

**REASON**

To ensure that people with disabilities are aware of the location of convenient facilities in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**16 DIS5 Design to Lifetime Homes Standards & to Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, and shall include within the design of each wheelchair unit internal storage space for the storage of mobility scooters/wheelchairs and associated charging points as set out in the Council's Supplementary Planning Document 'Hillingdon Design and Accessibility Statement: Accessible Hillingdon'.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 3A.13, 3A.17 and 4B.5.

**17 NONSC Full details of bathrooms in residential units**

Notwithstanding the approved plans, prior to the commencement of development, full details of the proposed bathrooms in the residential units, to include details relating to layout, floor gully drainage, etc, shall be submitted to and approved in writing by the Local Planning Authority. With regards to the proposed wheelchair accessible flat, details of the shower access and perimeter drainage, specifically, should be provided.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 3A.13, 3A.17 and 4B.5.

**18 NONSC Cycle storage provision**

Prior to the commencement of development, details of covered and secure cycle storage provision for at least 10 bicycles for the proposed residential units, and at least 14 bicycles for the proposed library and adult education centre (for use by staff and visitors), shall be submitted to and approved in writing by the Local Planning Authority. The cycle storage areas shall be completed prior to the first occupation of the building hereby permitted and thereafter permanently retained and maintained for so long as the development remains in existence. The cycle parking should be regularly monitored and additional storage provided if demand dictates.

**REASON**

To ensure that adequate facilities are provided in accordance with the standards set out in the Council's Cycle parking Standards in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**19 H1 Traffic Arrangements - submission of details**

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas (where appropriate) must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide or at least 3.0m wide where two adjacent bays may share an unloading area.

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan (February 2008).

**20 NONSC Access arrangements**

The development hereby approved shall not be occupied until the existing vehicular access has been stopped up and the means of vehicular access has been reinstated, and the new means of vehicular access has been constructed in accordance with the details first submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking and loading facilities in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter C of the London Plan (February 2008).

**21 NONSC Visibility splays**

The proposed vehicular access shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking and loading facilities in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter C of the London Plan (February 2008).

**22 NONSC Visibility splays**

The proposed access to the site shall be provided with driver visibility splays of 2.4m x 70m in both directions and shall be maintained free of all obstacles to visibility between the heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-

street parking and loading facilities in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter C of the London Plan (February 2008).

**23 NONSC Parking allocation**

Prior to commencement of development a scheme detailing the designation and allocation of parking spaces for the residential units on the site shall be submitted to, and approved in writing by the Local Planning Authority. Thereafter the parking spaces shall be allocated and provided for the use of those units only in perpetuity.

**REASON**

To ensure the scheme is supported by adequate parking provision in accordance with policy AM14 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

**24 NONSC Parking management strategy**

Prior to occupation of the development, a car parking management strategy, relating to the proposed library and adult education centre uses, shall be submitted to and approved in writing by the Local Planning Authority. The approved strategy shall be implemented as soon as either use is occupied and the strategy shall remain in place thereafter. Any changes to the strategy shall be agreed in writing by the Local Planning Authority.

**REASON**

To ensure the efficient operation of the parking facilities, especially at peak periods, in accordance with Policies AM2 and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**25 OM14 Secured by Design**

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 4B.1 and 4B.6 of the London Plan.

**26 NONSC CCTV and lighting**

Prior to the commencement of the development hereby permitted, full details of any proposed lighting and CCTV scheme shall be submitted to and approved in writing by the Local Planning Authority. The approved lighting and CCTV scheme shall be implemented prior to first occupation of the development.

**REASON**

In the interests of crime prevention and visual amenity in compliance with Policies BE13 and BE18 of the Hillingdon Unitary Development Plan Saved Policies (September 2007)

and advice in the Council's Supplementary Planning Guidance on Community Safety by Design.

**27 TL20 Amenity Areas (Residential Developments)**

None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans (including balconies where these are shown to be provided) has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained.

**REASON**

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

**28 NONSC Children's play area - security**

The hereby approved children's play area shall be exclusively used by occupants of the 10 residential units only, unless prior to its use by any other persons, a management strategy addressing security/anti-social behaviour measures is submitted to and approved in writing by the Local Planning Authority.

**REASON**

In the interests of crime prevention and residential amenity in accordance with Policies BE18 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and advice in the Council's Supplementary Planning Guidance on Community Safety by Design.

**29 NONSC Full details of children's play area**

Prior to commencement of development full details, including hard and soft landscaping, and details of any equipment to be installed, for the proposed children's play area shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

In the interests of visual amenity in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**30 NONSC Contamination**

Before any part of this development is commenced a site survey to assess the land contamination levels shall be carried out to the satisfaction of the Council and a remediation scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved by the Local Planning Authority. The remediation scheme shall include an assessment of the extent of site contamination and provide in detail the remedial measures to be taken to avoid risk to the occupiers and the buildings when the site is developed. All works, which form part of this remediation scheme, shall be completed before any part of the development is occupied (unless otherwise agreed in writing by the Local Planning Authority). The condition will not be discharged until verification information has been submitted for the remedial works. Any imported material i.e. soil shall be tested for contamination levels therein to the satisfaction of the Council.

**REASON**

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and

ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**31 N1 Noise-sensitive Buildings - use of specified measures**

Development shall not begin until a scheme for protecting the proposed development from road traffic noise has been submitted to and approved in writing by the Local Planning Authority. The noise protection scheme shall meet acceptable noise design criteria both indoors and outdoors. The scheme shall include such combination of measures as may be approved by the Local Planning Authority. The scheme shall thereafter be retained and operated in its approved form for so long as the use hereby permitted remains on site.

**REASON**

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic noise in accordance with policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

**32 N12 Air extraction system - noise and odour**

No air extraction system shall be used on the premises until a scheme which specifies the provisions to be made for the control of noise emanating from the site or to other parts of the building, has been submitted to, and approved in writing by the Local Planning Authority. The scheme shall include such combination of measures as may be approved by the Local Planning Authority. The said scheme shall include such secure provision as will ensure that the said scheme and all of it endures for use and that any and all constituent parts are repaired and maintained and replaced in whole or in part so often as occasion may require.

**REASON**

To safeguard the amenity of the occupants of the proposed residential units and surrounding properties in accordance with policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

**33 N13 Sound insulation of commercial/entertainment premises**

The development shall not begin until a sound insulation scheme that specifies the provisions to be made for the control of noise transmission to adjoining dwellings, has been submitted to, and approved in writing by the Local Planning Authority. The scheme shall include such combination of sound insulation and other measures as may be approved by the Local Planning Authority. The said scheme shall include such secure provision as will ensure that the said scheme and all of it endures for use and that any and all constituent parts are repaired and maintained and replaced in whole or in part so often as occasion may require.

**REASON**

To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

**34 NONSC Hours of use**

The use of the adult education centre hereby approved shall be restricted to the following hours:

0900 hours to 2200 hours Monday to Thursday;  
0900 hours to 1700 hours on Fridays;  
0900 hours to 1600 hours on Saturdays; and  
not at all on Sundays and Bank/Public Holidays.

**REASON**

In the interests of residential amenity in accordance with Policy BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**35 NONSC Servicing/delivery hours**

Deliveries and collections, including waste collections, shall be restricted to between 0800 hours and 1800 hours Mondays to Saturdays and not at all on Sundays and Bank/Public Holidays.

**REASON**

In the interests of residential amenity in accordance with Policy BE19 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

**36 NONSC Code for Sustainable Homes**

The residential development hereby permitted shall be built to a minimum of Level 3 of the Code for Sustainable Homes (or its successor). No development shall take place until a Design Stage assessment (under the Code for Sustainable Homes or its successor) has been carried out and a copy of the summary score sheet and Interim Code Certificate have been submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure the development proceeds in accordance with the policy aims of Policy A4.3 and Policy A4.16 of the London Plan.

**37 NONSC Code for Sustainable Homes**

Prior to the first occupation of the residential development, a copy of the summary score sheet and Post Construction Review Certificate (under the Code for Sustainable Homes or its successor) shall be submitted to the Local Planning Authority verifying that the agreed standards have been met.

**REASON**

To ensure the development proceeds in accordance with the policy aims of Policy A4.3 and Policy A4.16 of the London Plan.

**38 NONSC BREEAM - library and Adult education centre**

The Library and adult education centre shall be designed and built to BREEAM Very Good incorporating the energy reduction measures and renewable energy technology outlined in the Energy Statement. The development shall not be occupied until confirmation that it has reached the Very Good standard is submitted to and approved by the Local Authority.

**REASON**

To ensure the development proceeds in accordance with the policy aims of Policy A4.3 and Policy A4.16 of the London Plan.

**39 NONSC Energy requirements - 20%**

Before the development is commenced, details demonstrating that 20% of energy

requirements for the proposed development shall be supplied from renewable sources, or sufficient justification as to why this cannot be achieved at the site, shall be submitted to and approved in writing by the Local Planning Authority. The energy supplied to the development shall be in accordance with the details agreed unless the Local Planning Authority gives written approval to any variation.

**REASON**

To ensure compliance with the Mayor's sustainability objectives under Policy 4A.7 of the London Plan.

**40 SUS5 Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

**REASON**

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

**41 SUS7 Heating and Lighting Control**

The library and adult education centre hereby approved shall employ devices that automatically turn the heating and lighting off when the facility/rooms are not in use.

**REASON**

In the interests of energy conservation in accordance with Policy 4A.3 of the London Plan.

**42 SUS8 Electric Charging Points**

Before development commences, plans and details of one electric vehicle charging point, serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To encourage sustainable travel and to comply with London Plan Policy 4A.3.

**43 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures

to reduce the numbers of construction vehicles accessing the site during peak hours).  
(vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.  
(vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

#### REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

#### **44 NONSC Use of managers flat**

The manager's flat hereby approved (unnumbered flat on drawing no. 2009/D42A/P/08) shall be used to provide accommodation for employees of the adult education centre, working at the site, and by no other persons, in perpetuity.

#### REASON

To ensure appropriate living conditions are provided for occupiers of the development in accordance with Policies BE20, BE21, BE23 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and guidance in the Council's Supplementary planning Document on Residential Layouts.

#### **45 NONSC Use of retail unit**

The ground floor retail unit hereby approved shall be used within Class A1 use of the Town and Country Planning (Use Classes Order) 1987 (As Amended) and for no other purpose.

#### REASON

To ensure an appropriate form of development is provided on site, in the interests of residential amenity, in accordance with Policy BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### INFORMATIVES

#### **1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE14	Development of sites in isolation
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the

	area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
H4	Mix of housing units
H5	Dwellings suitable for large families
S9	Change of use of shops in Local Centres
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
A6	Development proposals within the public safety zones around Heathrow or likely to affect the operation of Heathrow or Northolt airports
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons

### 3 I1 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed

precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

#### **4            I2            Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

#### **5            I3            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

#### **6            I5            Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

#### **7            I6            Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

#### **8            I11            The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

**9**            I12                    **Notification to Building Contractors**

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

**10**            I15                    **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**11**            I19                    **Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**12**            I25                    **Consent for the Display of Adverts and Illuminated Signs**

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

**13**            I34                    **Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

#### **14**      I47                      **Damage to Verge**

You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

#### **15**

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

### **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The application site comprises an approximately 0.2 hectare irregularly shaped plot located on the north east side of Victoria Road in South Ruislip. The site currently accommodates South Ruislip Library, a relatively modestly sized single storey building, part of an associated car parking area and landscaping, which largely consists of grassed areas surrounding the building. A large gas company cabinet is located towards the north west end of the site.

Victoria Road bounds the south west boundary of the site, beyond which is a Sainsburys Supermarket, with associated service yard, car park and petrol station. The site is bounded to the north west by Kelvedon Court, a three-storey block of flats with associated parking area and to the north east by Queensmead School playing fields. The site is bounded to the south east by the site of the former Swallows Gymnasium, which has now been demolished and is due to be redeveloped for residential purposes in the future. Notably, the Council is currently assessing an application for the redevelopment of part of that site (known as Plot B) to provide two blocks of flats comprising a total of 31 units, with associated car parking and landscaping.

Planning permission was granted for the erection of a youth centre with associated parking, landscaping, and access, on the south eastern most part of the Swallows Gymnasium site, in 2009 (ref: 66408/APP/2009/2202). This is currently under construction.

The site falls within South Ruislip Local Centre as shown on the Hillingdon Unitary Development Plan Proposals Map. The school playing fields to the north east, and adjacent land to the north west and south east fall within the developed area.

### **3.2 Proposed Scheme**

The application site forms one of three adjacent sites which are either currently being redeveloped, or are due to be redeveloped by the Council in the future. This site is referred to as Plot A. The adjacent site (Plot B), is due to be redeveloped for residential use, for approximately 30 units, in the future, and the site beyond is currently being redeveloped to provide a new youth centre with associated car parking and landscaping.

This application seeks full planning permission for the redevelopment of Plot A to provide a three-storey mixed-use development comprising a new library, adult learning facilities, residential units and associated parking. The proposed library would provide improved facilities over the existing tired and dated facility on site. The proposed adult education centre would replace adult education facilities currently operating from Ruislip High School, but due to be relocated in order to provide additional classroom space at the school.

The building would be located relatively centrally within the site, with car parking provided parallel with the south east boundary, and amenity space, including a children's play area, located towards the north east of the building.

The proposed building would comprise a 388m<sup>2</sup> library with associated staff room and office, WC facilities, plant room, communications room and lobby at ground floor level. A small, 11m<sup>2</sup> retail unit would be provided in the lobby area and plans indicate that this could be used as a florist's shop.

At first floor level an adult learning centre, comprising five classrooms of between

approximately 40m<sup>2</sup> and 62m<sup>2</sup>, ancillary offices, reception area, WC facilities and managers flat would be provided. The manager's flat would comprise one bedroom, lounge with kitchenette and a bathroom. In addition three self-contained one-bedroom flats, comprising bedroom, bathroom, lounge with kitchenette and balcony, would be provided at this level.

Seven one-bedroom units would be provided at second-floor level, each also comprising bedroom, bathroom and lounge with kitchenette. Four of the units would be provided with private roof terraces, and three would be provided with balconies.

The application forms state that the proposed library opening hours would be between 09.00 hours and 17.30 hours on Mondays, Wednesdays and Thursdays; 09.00 hours to 19.00 hours Tuesdays and Thursdays; and 09.00 hours to 16.00 hours on Saturdays. The adult education centre would operate between 09.00 hours and 22.00 hours Monday to Thursday, 09.00 hours and 17.00 hours on Fridays and 09.00 hours to 16.00 hours for occasional use on Saturdays.

A total of 21 car parking spaces, 10 allocated to residents, and 11 allocated to users of the library and adult education facility, and associated vehicular access, would be provided at the south east side of the plot.

Amenity space would be provided at the northern corner of the site and a children's play area would be provided adjacent to the north east boundary.

Cycle storage and refuse storage areas would also be provided.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

There is no relevant planning history on record relating specifically to the library site. However, the following applications are considered to be relevant to this scheme:

67080/APP/2010/1420 - Erection of two, part two, part three-storey blocks, comprising a total of 12 one-bedroom, 16 two-bedroom, and three 3-bedroom flats with associated parking and amenity space (on land adjacent to South Ruislip Library - Plot B) - No decision to date.

66408/APP/2009/2202 - Erection of single-storey building for use as youth centre with associated parking and landscaping (land to south east of Ruislip Library forming part of former Swallows Gym) - Approved 04/12/09

### **4. Planning Policies and Standards**

London Plan (Consolidated with Alterations since 2004)  
Planning Policy Statement 1: Delivering Sustainable Development  
Planning Policy Statement 3: Housing  
Planning Policy Statement 22: Renewable Energy  
Planning Policy Statement 25: Development and Flood Risk  
Planning Policy Guidance 13: Transport  
Planning Policy Guidance 24: Planning and Noise  
Supplementary Planning Guidance - Community Safety by Design  
Supplementary Planning Guidance - Noise  
Supplementary Planning Guidance - Air Quality  
Supplementary Planning Guidance - Planning Obligations

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

#### Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.12 To avoid any unacceptable risk of flooding to new development in areas already liable to flood, or increased severity of flooding elsewhere.
- PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.
- PT1.17 To seek to ensure the highest acceptable number of new dwellings are provided in the form of affordable housing.
- PT1.19 To maintain a hierarchy of shopping centres which maximises accessibility to shops and to encourage retail development in existing centres or local parades which is appropriate to their scale and function and not likely to harm the viability and vitality of Town or Local Centres.
- PT1.20 To give priority to retail uses at ground floor level in the Borough's shopping areas.
- PT1.30 To promote and improve opportunities for everyone in Hillingdon, including in particular women, elderly people, people with disabilities and ethnic minorities.
- PT1.31 To encourage the development and support the retention of a wide range of local services, including shops and community facilities, which are easily accessible to all, including people with disabilities or other mobility handicaps.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

#### Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- BE14 Development of sites in isolation
- BE18 Design considerations - pedestrian security and safety
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OE1 Protection of the character and amenities of surrounding properties and the local area

OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
H4	Mix of housing units
H5	Dwellings suitable for large families
S9	Change of use of shops in Local Centres
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
A6	Development proposals within the public safety zones around Heathrow or likely to affect the operation of Heathrow or Northolt airports
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **16th July 2010**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

Consultation letters were sent to 284 local owner/occupiers and the South Ruislip Residents' Association. Site and press notices were also posted. To date four letters of objection have been received, which raise the following concerns:

i) Increase in congestion.

- ii) Insufficient parking. The assumption that there will only be one car per flat (one user having to be disabled) and no visitors will significantly increase existing parking and congestion problems in the area.
- iii) The residential development is cramped and out of keeping with the surrounding area.
- iv) The green fields currently provide a pleasant outlook.
- v) Increased pressure on local schools, which are already oversubscribed.
- vi) The nearby traffic light junction is heavily congested at all times.
- vii) South Ruislip is already densely populated. This will make the situation worse.
- viii) The infrastructure is already overloaded, and the continuously increasing traffic, pollution and noise already make life unpleasant for residents. Even more overcrowding will push the area into becoming a grim suburb.
- ix) The money for the development would be better spent building a relief road between Victoria Road and the A40.
- x) There is not enough room for the development.
- xi) The Council should not consider providing this scheme without the provision of additional amenities.
- xii) The youth club next door is going ahead against local wishes.
- xiii) GOALS stays open past 11pm against a supposedly agreed curfew.
- xiv) How long before the playing fields are built on?
- xv) Overlooking.
- xvi) Visual impact.

ENVIRONMENT AGENCY: There is no requirement to consult the Environment Agency on this application.

MINISTRY OF DEFENCE: No objection.

METROPOLITAN POLICE: No objection, subject to conditions regarding secure by design, boundary treatment, CCTV and security in relation to the children's play area.

### **Internal Consultees**

#### **URBAN DESIGN OFFICER**

The proposed scheme regards the regeneration of a centrally located brownfield site for the purpose of a replacement library, education facilities for the relocation of adult education from a Ruislip High School and residential flats. The application site is centrally located within a short walking distance from South Ruislip Underground Station. Directly opposite the library site is a large scale retail development. The proposed library and education facilities provide important complementary services which assist in creating a diverse, well balanced town centre environment, providing cultural services in close proximity to leisure, sport and commercial services.

To the north west of the elongated plot is a three storey residential development, Kelvedon Court, which is very well screened from the development site by robust vegetation. Immediately to the south of the application site are construction works relating to the provision of a new youth centre. Further to the south are existing tennis courts, whilst large open Playing fields abut the site to the east. The proposed scheme, which forms a linear development along Victoria Road, forms an important extension of the town centre. From an urban design point of view it is of great importance to continue the avenue character of the street scene in a similar way to the continuous line of Plane trees and complementary hedge planting which screens the large scale customer car park opposite the site.

The library development, which is complemented by two additional residential storeys on top, is considered to be suitable in terms of scale, height and massing, given the scale of the mixed use

surrounding environment. The site benefits from being very well screened from the residential development to the north west. The Sainsburys building across the road is of large scale, and the playing fields to the north east are spacious. The residential development benefits from a smaller amenity area and a children's play area to the rear. Surface car parking is provided to the south of the building.

From an urban design point of view additional tree planting is required to continue the existing green framework in form of tree lined car parking on the opposite side of the street in order to enhance the street scene character as a whole. The current layout of the car park only provides very limited space to do so, and it is therefore recommended that this part of the layout should be revisited to address this issue. The public pedestrian link between the car park and the Library entrance should be clearly marked out, and the car parking screened off from other circulation areas. The scheme is however fully supported from an urban design point of view in all other aspects. Valuable trees within the site need to be protected during the construction phase, as some of them are situated close to the proposed building.

The proposed building materials such as the combination of fairface brickwork and coloured render, matched by the slated roof and powder coated details in grey emphasise the simplistic and contemporary design approach.

Should approval be granted full details of building all building materials, hard landscaping materials, and boundary treatment, including gates, railings and fences, should be required by way of condition.

## HIGHWAY ENGINEER

The application site lies on the north-eastern side of Victoria Road. Victoria Road is a Classified Road and is designated as a Local Distributor Road within the Council's Unitary Development Plan (UDP) road hierarchy.

The site is shown to be in an area with a PTAL accessibility rating of 2, (on a scale of 1-6, where 6 is the most accessible), as indicated on maps produced by TfL. The site is therefore shown to have a low level of accessibility to public transport. However there are bus and train/underground links in the surroundings.

Double yellow lines prohibit parking along Victoria Road at any time. A 58 space public car park is located nearby in Long Drive.

The transport appraisal submitted with the application is in the process of being updated to correct technical errors. The following interim comments are made in the absence of the transport statement and will be finalised once the revised transport appraisal is submitted:

A total of 21 car parking spaces are proposed for the development, 10 spaces (including one disabled bay) for the residential element and 11 spaces (including 2 disabled spaces) for the library and adult learning elements of the development. The car parking provision is considered to be adequate. A public car park is also located nearby. The provision of the car parking should be covered through a suitable planning condition.

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hardstanding shall therefore be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system.

A new vehicular crossover has been proposed. A new bellmouth give-way access with tactile paving would instead be more suitable. This should be covered through a suitable planning condition including associated highway works, stopping up of the existing access and reinstatement of the existing means of the access.

The distance between the highway boundary and the gate proposed before the residential car parking is adequate to avoid vehicles overhanging and/or waiting on the highway.

The residential element of the development is proposed to have covered cycle storage for 10 cycles and 7 cycle stands (capable of accommodating 14 bicycles) are proposed for the library and adult learning elements, which is considered to be acceptable. The provision of the cycle parking should be covered through a suitable planning condition.

The vehicular access should be provided with the requisite pedestrian visibility splays and vehicular sightlines, to be covered through suitable planning conditions.

The refuse and recycle storage is within acceptable trundle distance from the highway.

Victoria Road is a busy road and right turning movements into the site have the potential to have a detrimental effect on the free flow of traffic. Provision for a short right turning lane is currently being considered by the applicant's transport consultants. All highway works including right turning lane, reinstatement of the existing access and creation of new access arrangements should be covered through s278 agreement.

In terms of the vehicular trip generation/attraction, the trips associated with the development are unlikely to have a significant effect on the capacity of the highway network.

The following conditions and informative are recommended to be applied;

#### Conditions

1. The development hereby approved shall not be occupied until the car parking area has been laid out, surfaced, lit and drained in accordance with details first submitted to, and approved in writing by the Local Planning Authority and shall be permanently maintained and available for the parking of vehicles at all times thereafter to the Authority's satisfaction.

2. The development hereby approved shall not be occupied until the existing vehicular access has been stopped up and the means of vehicular access has been reinstatement, and the new means of vehicular access has been constructed in accordance with the details first submitted to and approved in writing by the Local Planning Authority.

3. Highway works (S278 Agreement).

4. The proposed vehicular access shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

5. The proposed access to the site shall be provided with driver visibility splays of 2.4m x 70m in both directions and shall be maintained free of all obstacles to visibility between the heights of 0.6m and 2.0m above the level of the adjoining highway.

6. H14 & H16 Cycle Storage in accordance with approved plans

Informative

1. It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

## TREES/LANDSCAPE OFFICER

This flat site is located on the eastern edge of the local centre. There is a long line of semi-mature (London Plane) trees on the south-western side of Victoria Road. These trees, and other further to the east of the site, form a large-scale landscape feature between the road and the large retail buildings on that side of it. The north-eastern side of the road is more open with some individual and small groups of trees.

A linear clump of Silver Maple, Ash and Turkish Hazel trees close to the road frontage of the site forms a screen/buffer between the road and the existing library building. A group of three trees form a feature behind the building, and together with a belt of Ash and Plum trees (off-site) at Kelvedon Court form part of a larger linear feature around the school playing fields north-east of the site. There is also a clump of two small Birch trees and shrubs around the gas governor/cabinet at the north-western end of the site.

The trees on and close to the site, which are shown on the topographical/tree survey drawing, have been surveyed, in accordance with the recommendations of BS 5837:2005, by Landmark Trees. The results and interpretation of the results of the survey are presented in the Arboricultural Impact Assessment Report (June 2010). The report includes tree survey/constraints, arboricultural impact assessment and plan.

A total of 12 individual trees, one group, and two small sections of hedge-type vegetation were assessed and categorised according to the British Standard guidance. No trees are categorised as A grade (good quality and landscape value, where protection and retention is most desirable as part of any redevelopment). Six trees, including two Ash at Kelvedon Court, are categorised as B grade (fair quality and value, worthy of protection and retention as part of any redevelopment). The other trees/groups/hedges are C rated (poor), which could be retained but, subject to replacement planting, are not a constraint on the development of the site.

The tree survey/constraints drawing shows the root protection areas (RPAs) for the trees which define construction exclusion zones necessary to safeguard trees from built development, or interference within the root zone.

The trees on and close to the site are not protected by Tree Preservation Order or Conservation Area designation.

## THE PROPOSAL & APPRAISAL

Based on the recommendations of BS 5837, the design of the development of the site should be informed by the tree survey/report, and an arboricultural impact assessment and constraints report/plan, which considers construction-related issues as well as information about the shade effect of the buildings and trees.

The redevelopment of the site involves the demolition of the existing buildings and the construction of a new three-storey building to provide a new library, adult learning facilities and ten flats, together with associated parking, external works and landscaping. The layout is informed by the tree-related information.

In addition to the off-site trees, the scheme makes provision for the retention of one of the Maple at the rear of the existing building. The clump/screen of five roadside (Category B and C) trees, two

trees at the rear of the building and the Birches near to the gas governor will be removed to facilitate the development. The removal of these trees will have a short term impact. However, it is considered that the Silver Maples in the roadside group will in the medium term outgrow the site, and have to be replaced in any event. Furthermore, the layout reserves space for landscaping and the revised landscaping scheme makes provision for the planting of seven new trees, in replacement of the existing feature, on the road frontage, and three at the rear of the proposed building, such that the scheme will have a medium and long-term benefit. In that context there is no objection to the loss of several trees on the site.

Details of services (including drains and lighting) and levels, and tree protection measures, including a tree protection plan, and landscaping (specifications) and landscape maintenance should be required by conditions.

Overall, with the proposed landscape mitigation and subject to conditions TL1 (services & levels ONLY), TL2, TL3, TL5 (specification ONLY), TL6 and TL7, the application is acceptable in terms of Saved Policy BE38 of the UDP.

## ENVIRONMENTAL PROTECTION UNIT (EPU)

### Noise

#### \* Residential element

A Noise Assessment has been carried out for the applicant by Northumbrian Water Scientific Services file reference number 18162 dated May 2010. It has been calculated that the overall site falls within Noise Exposure Category C of PPG24.

PPG 24 states that for sites falling within Noise Exposure Category C, planning permission should not normally be granted. Where it is considered that permission should be given, for example because there are no alternative quieter sites available, conditions should be imposed to ensure a commensurate level of protection against noise.

#### Road Traffic Noise (Southern facade - front of building)

The daytime equivalent continuous noise level (Leq) was predicted to be 69.7dB, placing it in upper Category C. Additionally, the night-time noise Leq was predicted to be 61.4dB, which also places the site in Category C. A series of measures are suggested in Chapter 7.1.3 which it is indicated can be employed to ensure noise levels in habitable rooms satisfy the Borough's Noise SPD.

### Summary

Based on the results of the noise assessment it is considered that the requirements of the Borough's Noise SPD can be met using a combination of noise mitigation measures.

Therefore, no objections are raised subject to the imposition of appropriate conditions to ensure that the proposed development will satisfy the requirements of the Borough's Noise SPD.

#### \* Library and Adult Education Facility

Mixed use developments require adequate protection be afforded to occupiers of the residential dwellings to ensure protection of amenity.

Suitable hours of use should be applied to the adult education facility as per those stated on the application form, specifically no later than 2200 hrs. In addition conditions to ensure the residential units are adequately protected against noise from the non-residential elements of the scheme, and relating to air extraction units, should be attached should planning permission be granted.

#### \* Overall site

#### Dust from demolition and construction

Current government guidance in PPS23 endorses the use of conditions to control impacts during the construction phase of a development. A condition requiring a Construction Environmental Management Plan (CEMP) to include dust control measures to be employed on site should be attached should approval be granted.

#### Air Quality

The site is within the northern half of the Borough and therefore not located in the declared AQMA. No objections are therefore raised in respect of Air Quality.

#### Contamination

The desk study Phase 1 report by MLM for the site indicates that the site does not have a contaminative use, the land being used for agricultural purposes in the past before the building of the library and gym. The site has not been identified within the Council's contaminated land strategy. However it is now a brownfield site with made ground. Residential flats with amenity space are proposed. The site is therefore a sensitive development and as such contamination investigations are necessary under the planning regime.

The site investigation (Phase 2) was carried out by MLM following the desk study. There were 12 sampling boreholes into the underlying soil to a maximum of 7.45 metres. These do not cover the areas where the building still stands. The boreholes did not show unusual ground conditions however there is a shallow depth of made ground (gravelly clay, bricks etc) located down to 0.34 to 1.0 metres depth. The borehole soil logs are in the report.

Soils were tested for a range of contaminants and the results were compared to the standards for residential gardens. Most contaminants were not elevated. However there were two levels of Polyaromatic Hydrocarbons (Benzo(a)anthracene and Benzo(a)pyrene) that were above these target levels. The two hotspots are marked on a map and localised remediation is required if they are in a garden or amenity space area. The hotspots are at 0.1 to 0.2 metres depth and may be removed in the site strip. The plants on site are healthy and no levels of phytotoxins were found that would affect plant growth.

Monitoring wells for gas and water were installed at 4 locations. Ground gases were measured on 3 occasions). Some low Carbon dioxide up to 1.4% was found with no methane or vapours. Calculations were made for low rise housing using the NHBC Traffic Lights System for a 150mm void, and it was concluded that gas protection is not necessary mainly due to the low flow rates found.

It appears that there are no groundwater issues found by the investigation and the site is on a non-aquifer. However the Environment Agency should be consulted for their comments.

The investigation report proposes protection for water pipes given that some levels of soil contamination, particularly arsenic, are above the WRAS guideline for laying water pipes.

The details submitted in this application in the MLM reports are sufficient with regards to human health issues. On the basis of the soil testing there may be some localised remediation of the two hotspots. If there is any unexpected contamination in the areas not surveyed or elsewhere this should be reported to the LPA and carried out properly.

No objections are raised subject to a condition requiring submission of a site survey and remediation scheme, given the sensitivity of the housing development and the made ground/identified hotspots on the site. Some contamination may be encountered once the buildings are demolished and all of the ground can be assessed. The condition will also ensure that the imported soil is tested and clean.

#### SUSTAINABILITY OFFICER

An energy statement was submitted with the application however it only demonstrates 13% of the energy coming from renewable energy sources without adequate justification for not including additional technology to provide the remaining 7%.

The applicant has committed to achieving level 3 of the Code for Sustainable Homes.

Should approval be granted conditions relating to the Code for Sustainable Homes (or its successor) and sustainability measures should be attached to ensure appropriate standards are met.

#### ACCESS OFFICER

The scheme needs to comply with all 16 Lifetime Home standards (as relevant). In addition, 10% of new housing should be built to wheelchair home standards and should accord with relevant policies, legislation and adopted guidance.

1. The bathrooms/ensuite facilities should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite.

2. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gully drainage.

3. The proposed wheelchair accessible flat (flat 1) should include specification that is conducive to the access requirements of a wheelchair user. Whilst the Design & Access Statement refers to a level access shower with perimeter drainage, the submitted plans appear not to have been marked up with these technical details.

Officer comment: These matters are conditioned.

#### S106 OFFICER

Proposed Heads of Terms:

A contribution of £12,311 towards provision of educational facilities in this part of the borough.

A contribution of £3,250 towards local health care facilities in this part of the borough.

A contribution of £345 towards improved library facilities.

Either a scheme detailing how construction training will be provided throughout the construction phase of the development or a contribution equal to £2,500 for every £1 million build cost, towards construction training initiatives in the borough.

A contribution equal to 5% of the total cash contributions to enable the management and monitoring of the S106 agreement.

#### HOUSING

This application is for a mixed use development to provide a new library, adult learning facilities and 10 x 1 bedroom flats. The flats all benefit from exclusive amenity space in the form of balconies or roof terraces and communal amenity space. They all comply with HDAS size standards, lifetime home standards and will comply with SBD.

The units should be built to a minimum 4 of the Code for Sustainable Homes.

There is a query over classroom 5 or the 11th flat which is not ideal as residential as it appears to act as a fire exit route for the adult learning facilities and has no amenity space.

It is very disappointing to note that no affordable housing is offered on this application.

## 7. MAIN PLANNING ISSUES

## **7.01 The principle of the development**

The site is located within the Developed Area as shown on the Unitary Development Plan Proposals Map. Furthermore, the site does not fall in a conservation area or Area of Special Local Character. As such, there is no objection in principle to the provision of residential units on the site.

Policy H4 states that wherever practicable a mix of housing units should be provided, particularly one and two bedroom units. It emphasises that within town centres smaller units are preferable. Whilst this location does not fall within a designated Town Centre it falls within South Ruislip Local Centre. Given the location and nature of the site this unit mix is considered to be acceptable. Notably, the Council is currently assessing a scheme for a residential development at the adjacent site, which has a wider mix of unit sizes.

Policy R5 of the UDP Saved Policies September 2007 resists the loss of community facilities unless adequate alternative facilities are available. Similarly, Policy R11 of the UDP requires that proposals which involve the loss of land or buildings previously utilised for community facilities are assessed taking into account whether there is:

- i) A reasonable possibility that refusal of permission for an alternative use would lead to the retention and continued use of the existing facility.
- ii) Adequate accessible alternative provision is available to meet the foreseeable needs of the existing and potential users of the facility to be displaced.
- iii) The proposed alternative accords with all other policies and objectives of the development plan.

Policy R10 supports the development of new community facilities, including libraries. It is proposed to replace the existing 320m<sup>2</sup> library with a marginally larger 388m<sup>2</sup> library which would provide modern and improved facilities. In addition an approximately 450m<sup>2</sup> adult education centre would be provided. It is anticipated that these would replace an existing facility currently provided at Ruislip High School, so that the school can meet its need for additional classrooms by September 2011. The applicant has advised that the proposed facilities would offer comparable accommodation and the same courses as that currently provided at Ruislip High School.

Given the site's location in South Ruislip Local Centre no objections are raised to the provision of a small retail unit in the lobby of the proposed library. This complies with UDP policies Pt1.19, Pt1.20, and S9 which encourage the provision of A1 shops in local centres in order to enhance their viability and vitality.

As such, the proposal is considered to be in accordance with these policies, subject to meeting other relevant planning criteria.

## **7.02 Density of the proposed development**

Whilst the proposed development is for 10 one-bedroom units, a managers flat would also be provided. As such, the density has been calculated based on the provision of 11 units, to present the worst case scenario.

The site has a Public Transport Accessibility Level (PTAL) of 2. Given the nature of the surrounding area, which is on the edge of South Ruislip Local Centre, and is largely characterised by terraced and semi-detached properties with relatively large gardens, and buildings of 2-3 storeys in height, it is considered that the site falls within a suburban area as defined in the London Plan (2008). The London Plan (2008) range for sites with a PTAL of 2-3 in a suburban area is 150-250 habitable rooms per hectare and 50-95 units per hectare. As such, based on a total site area of 2,000m<sup>2</sup> the site would have a density

of 55 units per hectare and 165 habitable rooms per hectare. This complies with London Plan standards and is considered to be acceptable in this location.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site does not fall within an Archaeological Priority Area and there are no Conservation Areas, listed buildings or Areas of Special Local Character within the vicinity of the site.

#### **7.04 Airport safeguarding**

The Ministry of Defence (MoD) have confirmed that they have no objections to the proposals. There is no requirement to consult National Air Traffic Services (NATS) or BAA Safeguarding on this proposal.

#### **7.05 Impact on the green belt**

There is no Green Belt land within the vicinity of the site.

#### **7.06 Environmental Impact**

The site is not known to have any previous contaminative uses. However, as the development proposes residential units and associated amenity space, which is considered to be a sensitive use, contamination investigations have been undertaken. The reports confirm that there is unlikely to be contamination on the site which would pose a risk to human health. However, some localised remediation may be necessary. Officers in the Council's Environmental Protection Unit have raised no objections to the scheme on grounds of contamination, subject to a condition requiring the submission of a site survey and remediation scheme.

Issues relating to noise and air quality are addressed in part 7.18 of the report.

#### **7.07 Impact on the character & appearance of the area**

The surrounding area is characterised by a wide mix of uses, with a large Sainsburys Supermarket and associated car park located on the opposite side of Victoria Road, beyond which is South Ruislip's main shopping area, a largely residential area located to the north, and large school playing fields located to the east. The site falls on the edge of the area designated as South Ruislip Local Centre and, accordingly, is on the fringe of the more densely built up area of South Ruislip.

Whilst the proposed scheme would be significantly larger than the existing library on the site, at three-storeys in height, it is not considered that it would be out of keeping with the size, scale and height of nearby developments including Kelvedon Court to the north west, Sainsburys Supermarket opposite, and most of the properties in the Local Centre. Notably, all buildings fronting the Victoria Road/Station Road crossroads, less than 50m to the north west of the site, are at least three-storeys, or equivalent, in height.

This part of Victoria Road, is characterised by rows of trees, set back from the road, on both sides, and these form an important element to the streetscene, providing screening to the busy supermarket, service yard and associated car parking on the south western side of Victoria Road, and enhancing the more open nature of the north eastern side of the road. Whilst existing trees would need to be removed in order to make way for the proposed development, replacement trees would be provided to maintain the tree planting to the site frontage.

The building would take on a modern appearance with use of building materials such as fairface brick work, coloured render, and slate roofs. Given the various different styles of buildings within the vicinity of the site, this is considered to be visually acceptable in this location.

Overall, it is not considered that the size, scale, height or design of the proposed building

would have a significant detrimental impact on the character or appearance of the surrounding area, or on the visual amenities of the streetscene. Accordingly, the proposal is considered to comply with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7.08 Impact on neighbours**

The nearest residential properties to the proposed scheme are located at Kelvedon Court and no.53 Long Drive, both of which back onto the application site's north west boundary. The nearest part of Kelvedon Court, which is nearest, would be located approximately 25m away from the north west elevation of the proposed building. However, Given this distance, an existing hedgeline along the site's north west boundary, and existing trees located close to the site boundary, which provide significant screening, particularly during summer months, it is not considered that the proposal would have any detrimental impact on the amenity of the nearest residential occupiers in terms of overlooking, loss of privacy, overshadowing or loss of outlook.

#### **7.09 Living conditions for future occupiers**

The Council's Supplementary Planning Document on Residential Layouts states that a minimum of 50m<sup>2</sup> internal floor space should be provided for one-bedroom flats. Each unit, including the manager's flat, would have a floor area of just over 50m<sup>2</sup>. The proposal therefore meets these guidelines. All windows would receive adequate daylight and the amenities of future occupiers would not be prejudiced by the location of adjoining properties. As such, it is considered that the proposed property would adequately serve the needs of future occupiers in terms of internal space.

The Council's Supplementary Planning Document on Residential Layouts states that a minimum of 20m<sup>2</sup> usable, attractively laid out and conveniently located external amenity space, should be provided for one-bedroom units. As such, a total of 220m<sup>2</sup> external amenity space should be provided (including space for the manager's flat). In excess of 325m<sup>2</sup> communal amenity space would be provided towards the northern most corner of the site. In addition each unit, with the exception of the manager's flat, would be provided with either a sizable roof terrace or a balcony. A 97m<sup>2</sup> children's play area, for users of the residential units only, would also be provided towards the rear of the site. Accordingly, the proposal significantly exceeds the Council's guidelines relating to amenity space.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

A total of 21 parking spaces would be provided towards the south east side of the site. 10 spaces, including one disability standard space, would be provided for use by the residential units only and 11 spaces, including two disability standard space, would be provided for users of the library and adult education facility.

With regards to the proposed residential use, the Council's Car Parking Standards state that for flats without individual curtilages and with communal parking areas 1.5 spaces should be provided per unit. Notwithstanding this, the London Plan standards state that for one and two-bedroom units a maximum of one space or less should be provided per unit, emphasising that all developments in areas of good public transport accessibility and/or town centres should aim for less than 1 space per unit. The site lies within South Ruislip Local Centre, within very close proximity to local shops and a major supermarket, and within approximately 300m of South Ruislip Underground and train stations. In addition, the site is less than 500m away from the Victoria Road Retail Park. Therefore, given the close proximity of the site to local amenities and public transport routes, the proposed parking provision for the residential units is considered to be acceptable in this instance.

No standards are provided in either the UDP or the London Plan relating specifically to car parking provision in relation to adult training centres or libraries, both suggesting that

appropriate provision should be assessed on an individual basis, guided by a Transport Assessment.

The submitted Transport Statement erroneously refers to a total provision of 17 and not 21 parking spaces (10 for the residential units and 7 for the proposed library and adult education centre). Whilst it is not considered that this aims to be deliberately misleading, amendments have nevertheless been requested prior to Committee. In addition, the Transport Statement provides very limited reference to the proposed parking provision for the library and adult education centre, merely suggesting that the redevelopment of the library would not result in an increase in traffic at the site over and above the existing facility and therefore the only traffic impact relating to the scheme would relate to the proposed residential units.

There would appear to currently be approximately 18 car parking spaces provided for the existing library. Whilst, the proposal would result in a reduction in spaces, it is in a relatively accessible location in South Ruislip Local Centre, in close proximity to public transport routes. Therefore it is considered that the proposed number of parking spaces is acceptable and would accord with Government policies which seek to encourage use of more sustainable modes of public transport.

Notably, there are parking restrictions along Victoria Road and in South Ruislip Centre. In addition, the site lies within close proximity to public car parks within South Ruislip. Accordingly, it is not considered that the proposal would result in a significant increase in on-street parking in the surrounding area.

In terms of impact on the surrounding highway network, there would notably only be an increase in three car parking spaces at the site, over the existing use. Accordingly, it is not considered that the proposal would lead to a significant increase in traffic to/from the site, which would have a detrimental impact on the surrounding highway network sufficient to justify refusal.

Whilst the Council's Highway Engineer has asked for a number of amendments to the submitted Transport Statement, no objections have been raised on transportation grounds.

The Council's Cycle Parking Standards state that for adult training centres one cycle parking space should be provided per 25m<sup>2</sup> of floorspace. No standards are specifically provided for libraries, however, a similar provision to that for the adult training centre is considered reasonable. Accordingly, a total provision of 34 spaces should be provided. The submitted plans indicate that cycle storage provision for up to 14 bicycles would be provided for users of the library and adult education facility. These would be located adjacent to the building's north west elevation. Whilst this falls below the Council's standards, the standards are considered to be generous and, therefore, the proposed provision is considered to be adequate subject to conditions to ensure full details are provided and that the provision is monitored to ensure additional spaces are provided should demand dictate. Notably, the plans indicate that there would be sufficient space on site to provide additional cycle storage provision in the future if necessary.

Cycle storage for the residential units would be provided towards the rear of the car park in the south east corner of the site. The design and Access Statement confirms that this would provide space for 10 bicycles, one space per unit, in compliance with current Council Cycle Parking Standards for units with one-bedroom.

#### **7.11 Urban design, access and security**

### Urban Design

This issue has been largely addressed in part 7.07 of the report. At ground floor level, the proposed building would have an external footprint of approximately 507m<sup>2</sup>. However, at first and second storey level, part of the building would be cantilevered over the car park, essentially creating an undercroft element to the car park, and additional floorspace for the upper floors. The second storey would be set back from the building's main front elevation, fronting Victoria Road, in order to provide roof terraces for flats at that level. The proposed building would have maximum dimensions of approximately 30m by 28m by 14m high.

Given the nature of the immediately surrounding area, including the three-storey residential block adjoining the site to the north west, and the large Sainsburys Supermarket, which the plans indicate measures approximately 26m high, opposite, it is not considered that the height, size or scale of the development would be out of keeping with the character or appearance of the surrounding area.

The building has been designed to reflect its different uses. At ground floor level it would be largely glazed to maximise the daylight in to the library and to provide a link to the outside, emphasising that it is a public building. At first floor level, the windows would project from the front elevation to create visual interest and a modern design, and at third floor level the front elevation to the residential units would sit behind roof terraces. The Design and Access statement suggests the provision of a pitched roof would add a domestic character. The external walls to the building would be finished in fairface brickwork and coloured render finish. The roof would comprise grey slates and the doors and windows would be finished in grey powder coated aluminium.

The proposed design and materials would create the impression of a modern contemporary building which is considered to be visually acceptable in this location. Notably, the proposal would reflect the modern design approach which was adopted for the youth centre, currently under construction to the south west of the site.

The Council's Urban Design Officer has raised no objections to the scheme in terms of size, scale, height, bulk, design, etc. However, it has been suggested that additional tree planting should be provided in the car park area. Given that a large part of the car park would be provided under an undercroft, and the restricted space available in this part of the site, this would not be possible. Details relating to landscaping will be further discussed in part 7.14 of the report. However, it should be noted that following discussions with the Council's Trees/Landscape officer amended plans were submitted which show additional soft landscaping and tree planting to the site frontage, fronting Victoria Road, and notably, the Council's Trees/Landscape Officer has raised no objections. Accordingly, it is not considered that refusal could be justified on these grounds.

### Security

The development would incorporate measures to reduce the risk of crime. Should approval be granted a condition would be required to ensure the development meets the Metropolitan Police's 'Secured by Design' criteria. Notably the Metropolitan Police's Crime Prevention Design Advisor has raised no objections to the scheme subject to conditions regarding boundary treatment (which would be covered by the Council's standard boundary treatment condition), CCTV, and details relating to the proposed children's play area to ensure it is secure and not abused by unauthorised users.

### **7.12 Disabled access**

The applicant's Design and Access Statement confirms that the proposed development would comply with Lifetime Homes Standards, BS8300:2009 and Part M of the Building Regulations. It confirms that level access would be provided to all floors, all access controls to common parts of the building would be accessible and inclusive, and that WCs and bathrooms throughout the development would be flexible to allow use by wheelchair users. The Council's Access Officer has raised a number of points regarding the bathrooms and proposed wheelchair accessible unit. However, should approval be granted, it is considered that these issues could be satisfactorily addressed by way of condition.

#### **7.13 Provision of affordable & special needs housing**

Policy 3A.11 of the London Plan (2008) states that Boroughs should normally require 50% affordable housing provision on a site which has a capacity to provide 10 or more homes, unless a Financial Viability Assessment indicates otherwise. In this instance no affordable housing is proposed.

Circular 05/2005 acknowledges that in some instances 'it may not be feasible for a proposed development to meet all of the requirements set out in local, regional and national policies and still be economically viable.' It goes on to state that in such cases it is for the local authority to decide what level of contributions are appropriate.

A Financial Viability Assessment (FVA) has been submitted which indicates that the scheme would not be viable if an element of affordable housing was to be delivered as part of the development. Accordingly, it is not considered that refusal could be justified on the grounds of lack of affordable housing provision.

#### **7.14 Trees, Landscaping and Ecology**

The existing site comprises the relatively modestly sized library building, located towards the centre of the site, and car parking towards the south eastern boundary. The areas surrounding the building are grassed with tree planting provided along the Victoria Road frontage, along the north west boundary and towards the northern most corner of the site. The trees fronting Victoria Road are considered to add considerable value to the visual amenities of the streetscene.

The majority of existing trees on site, with the exception of a relatively large maple tree towards the northern most corner, and those along the north western boundary, would be removed to make way for the development. However, the Council's Trees/Landscape Officer has advised that those along the site frontage would be likely to outgrow the site as they mature and require replacing in the medium term in any case. The removal of these trees would have a short term visual impact on the streetscene, and it is considered important that tree planting along this boundary is retained both in terms of providing some screening to help break up the visual impact of the development, and in keeping with existing tree planting characteristic of this part of Victoria Road.

The proposed layout reserves space for landscaping and makes provision for the planting of seven new trees, in replacement of the existing feature, on the road frontage, and three at the rear of the proposed building. Whilst the drawings indicate that these are unlikely to be of a comparable size to, or have the same visual impact as the existing trees on site, it is nevertheless considered that they would add positively to the visual amenities of the development and surrounding area.

Whilst no landscaping would be provided in the car park, given that part of the proposed building would overhang a large part of this area, and the need to ensure the car parking is secure and accessible, this is considered to be acceptable. The Council's

Trees/Landscape Officer has raised no objections in this respect.

It is considered that sufficient space has been reserved for landscaping at the site in compliance with UDP Policy BE38. Whilst the loss of existing B grade trees along the site frontage is not ideal, replacement tree planting would be provided. The Council's Trees/Landscape Officer has confirmed that, on balance, the proposal is acceptable on landscaping grounds, subject to conditions.

#### **7.15 Sustainable waste management**

The plans indicate that an approximately 4.2m by 4m refuse storage area would be provided adjacent to the site access. It is assumed that this would accommodate wheelie bins for the library and adult education centre as well as for residents. With the exception of the residential units, the site occupiers would ultimately have discretion over which waste management methods are used. However, for residential units sufficient space should be provided to allow for both general refuse and recycling. It is considered that the area proposed would be large enough to accommodate the required refuse storage provision. Additional space would be available on site to provide larger or additional bins if required. Accordingly, further details would be required by way of condition should approval be granted.

#### **7.16 Renewable energy / Sustainability**

Policy 4A.7 of the London Plan 2008 advises that boroughs should require major development to show how they would reduce carbon emissions by 20% through addressing the site's electricity and heat needs from renewable sources, wherever feasible.

The applicant has submitted an Energy Statement with the application, which shows that a number of measures would be incorporated into the scheme to reduce its energy demand. These include improving the building fabric performance over minimum building regulations, use of high efficiency boilers, energy efficient lighting, careful consideration of ventilation systems. The report advises that these measures would reduce the building's carbon emissions by approximately 10%.

The report also advises that the proposed dwellings would achieve a minimum of level 3 of the Code for Sustainable Homes.

The use of a number of renewable technologies, including biomass, photovoltaics, solar thermal, wind turbines and ground source heat pumps, have been reviewed in order to further reduce the building's carbon emissions. A number of these technologies have been discounted as viable options largely due to the relatively small size of the scheme and the high running and maintenance costs associated with them. The report concludes that solar hot water panels would be used to meet part of the hot water demand for the proposed dwellings. Photovoltaic panels would also be used to meet a proportion of the site's energy requirements. This would result in an approximately 13% reduction in carbon emissions from renewable energy and approximately 23% overall, including sustainable building measures.

Nonetheless, no clear justification is provided as to why a 20% reduction in carbon emissions cannot be achieved through the use of renewable energies, in compliance with current London Plan (2008) standards. Therefore, should approval be granted, it is recommended that a condition be added to ensure the use of renewable technologies to reduce the site's carbon emissions is further explored.

#### **7.17 Flooding or Drainage Issues**

Whilst the majority of the site does not fall within a floodplain, a small part of the eastern

most corner falls within Flood Zone 2. Accordingly, a Flood Risk Assessment has been submitted in support of the application. The Environment Agency have confirmed that they do not wish to be consulted on the application and that the Council should use advice on their website and in PPS25 to assess the scheme. In accordance with PPS25, due to the provision of residential units in the scheme, the development would be regarded as a 'more vulnerable' use. However, Table D.3, 'Flood Risk Vulnerability and Flood Zone Compatibility' indicates that 'more vulnerable' uses falling within Flood Zone 2 are appropriate.

Therefore, it is not considered that the proposed development would lead to a significant increase in flood risk. Should approval be granted conditions regarding sustainable urban drainage would be attached to the consent.

#### **7.18 Noise or Air Quality Issues**

##### Noise

The site lies adjacent to Victoria Road, near a busy junction, and opposite Sainsburys Service Yard. Accordingly, a Noise Assessment has been submitted in support of the application. This confirms that whilst the site falls within Noise Exposure Category C, the use of mitigation measures, such as use of double glazing and appropriate building materials, would give sufficient noise attenuation for the residential areas. Notably, Officers in the Council's Environmental Protection Unit have raised no objections subject to appropriate conditions to ensure the scheme is adequately protected from road traffic noise. It is also recommended that the hours of use of the adult education centre are restricted to ensure ensure the use is compatible with the residential properties above.

##### Air Quality

The site does not fall within an Air Quality Management Area and, accordingly, there is no requirement for the applicant to submit an Air Quality Assessment in support of the scheme. The proposal would only result in an increase of four car parking spaces over the existing use at the site and, as such, it is not considered there would be a significant increase in traffic to the site which could have an impact on local air quality. Officers in the Council's Environmental Protection Unit have confirmed that an Air Quality Assessment is not required and that no objections are raised on grounds of air quality.

#### **7.19 Comments on Public Consultations**

Points (i), (ii), (iii), (vi), (vii), (viii), (x), (xii), (xv) and (xvi) have been addressed in the report.

Point (iv) suggests the the pleasant outlook currently provided by the playing fields would be spoilt. The proposal does not encroach on the playing fields and comprises an existing developed site. The nearest residential properties are located some distance away and largely screened from the site by vegetation. Therefore, it is not considered that the proposal would lead to a significant loss of outlook sufficient to justify refusal.

Points (v) and (xi) raise concerns over the increased pressure the development would put on local schools and other amenities. The applicant has agreed to make s106 contributions towards education, healthcare and library facilities, and construction training for local people, in accordance with the Council's Supplementary Planning Document on Planning Obligations. Therefore, refusal cannot be justified on these grounds.

Point (ix) suggests that money should be spent providing a relief road between Victoria Road and the A40. Officers are unaware of any proposals for such a scheme. Every application must be assessed on its merits, and refusal cannot be justified on these grounds.

Point (xii) states that the nearby youth club is going ahead against local wishes. Every application must be assessed on its merits. Refusal cannot be justified on these grounds.

Point (xiii) raises concerns over late opening hours of GOALS Soccer Centre, which is located further east along Victoria Road. That is not considered to have any relevance to this application.

Point (xiv) raises questions over how long it will be before the school playing fields are built on. Officers are unaware of any proposals to develop the school playing fields. Every application must be assessed on its merits, and refusal cannot be justified on these grounds.

#### **7.20 Planning Obligations**

Policy R17 of the UDP states that the Local Planning Authority will, where appropriate, seek to supplement the provision of recreational open space, facilities to support the arts, culture and entertainment activities and other community, social and education facilities through planning obligations in conjunction with other development proposals.

The applicant has agreed in principle to provide contributions towards education, health and library facilities in this part of the borough and construction training. These will be secured by the proposed S106 agreement.

#### **7.21 Expediency of enforcement action**

Not applicable.

#### **7.22 Other Issues**

None.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or

other status'.

**9. Observations of the Director of Finance**

Not applicable.

**10. CONCLUSION**

It is not considered that the proposed development would have a significant detrimental impact on the character or appearance of the surrounding area or on the residential amenity of neighbouring occupants. An acceptable internal living environment would be created for future occupants and sufficient amenity space is provided. The proposal is considered to comply with relevant UDP and London Plan policies and, accordingly, approval is recommended.

**11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies (September 2007)

London Plan (Consolidated with Alterations since 2004)

Planning Policy Statement 1: Delivering Sustainable Development

Planning Policy Statement 3: Housing

Planning Policy Statement 22: Renewable Energy

Planning Policy Statement 25: Development and Flood Risk

Planning Policy Guidance 13: Transport

Planning Policy Guidance 24: Planning and Noise

Supplementary Planning Guidance - Community Safety by Design

Supplementary Planning Guidance - Noise

Supplementary Planning Guidance - Air Quality

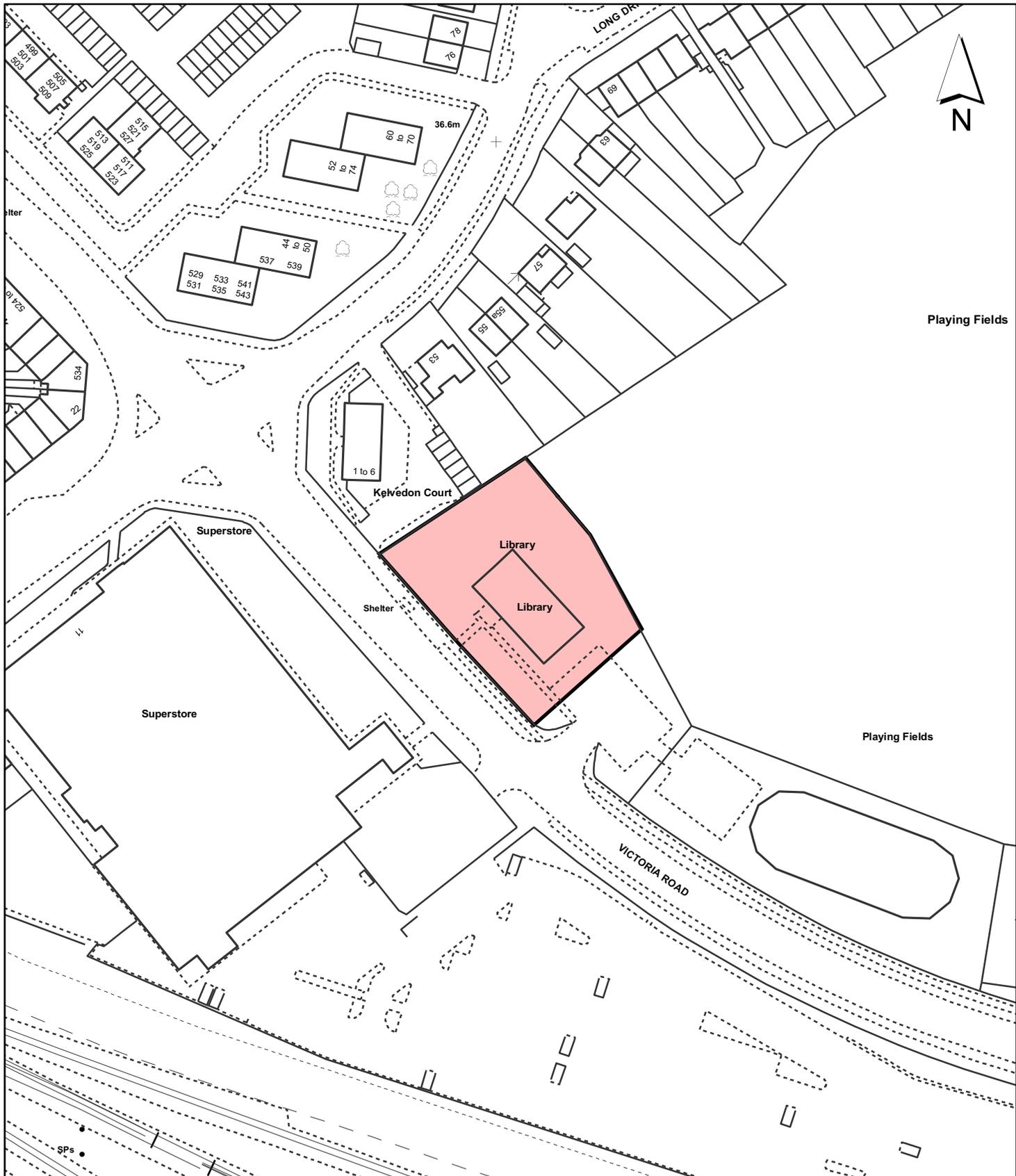
Supplementary Planning Guidance - Planning Obligations

Supplementary Planning Guidance - Residential Layouts

Supplementary Planning Guidance - Accessible Hillingdon

**Contact Officer:** Johanna Hart

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address	
<b>South Ruislip Library Plot A, Victoria Road Ruislip</b>	
Planning Application Ref:	Scale
<b>67080/APP/2010/1419</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 112	<b>July 2010</b>

**LONDON BOROUGH OF HILLINGDON**

**Planning & Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 53 PINN WAY RUISLIP

**Development:** Erection of a two storey rear extension and single storey side extensions.

**LBH Ref Nos:** 1244/APP/2009/2425

**Drawing Nos:** 09:383/01  
09:383/02 B  
09:383/03 B

**Date Plans Received:** 10/11/2009      **Date(s) of Amendment(s):**

**Date Application Valid:** 12/11/2009

### 1. CONSIDERATIONS

#### 1.1 Site and Locality

The application site is located on the east side of Pinn Way and comprises a two storey detached house with a front projection, front gable, porch and a glazed roof canopy along the southern flank wall. To the south lies 55 Pinn Way and to the north lies 51 Pinn Way, both detached houses. This side of the road has a staggered building line and as such, 51 Pinn Way lies in front, and 55 Pinn Way lies to the rear of the front building line of the application property. Also, the gradient of the land is such that the rear garden is at a lower level to that of the street.

The street scene is residential in character and appearance comprising two storey detached houses of varying designs and the application site lies within the 'Developed Area' as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). The application site also lies within an Archaeological Priority Area, however given the nature of the proposed development no archaeological remains would be affected.

#### 1.2 Proposed Scheme

Planning permission is sought for the erection of a two storey rear extension and single storey side extensions on the north and south flank walls.

The proposed two storey rear extension would measure 11m wide for the full width of the existing property, 5.9m deep along the southern flank wall and 3.9m deep along the northern flank wall. The main roof would be extended rearwards over the two storey rear extension, resulting in a crown roof. The proposed part two storey rear projection would be finished with a hipped roof set some 0.5m below the roof ridge.

The proposed single storey side extension on the southern flank wall would be set flush with the front of the house. It would measure 2m wide, 11.2m deep set flush with the rear wall of the two storey rear projection, finished with a crown roof 2.2m high at eaves level and 3.2m high at its highest point.

The single storey side extension on the northern flank wall would also be in line with the front wall of the house. It would measure 2.6m wide, 9.7m deep, set flush with the rear wall of the two storey rear extension, and finished with a crown roof 2.2m high at eaves level and 3.2m high at its highest point.

### 1.3 Relevant Planning History

1244/APP/2009/1132      53 Pinn Way Ruislip

Two storey rear and single storey side extensions, involving part demolition of existing dwelling and outbuildings.

**Decision Date:** 22-10-2009      Withdrawn      **Appeal:**

#### Comment on Planning History

None

### 2. Advertisement and Site Notice

**2.1** Advertisement Expiry Date:- Not applicable

**2.2** Site Notice Expiry Date:- Not applicable

### 3. Comments on Public Consultations

EXTERNAL:

20 adjoining owner/occupiers and the Ruislip Residents' Association consulted, 14 letters of objection and a petition with 34 signatories received.

Letters of objection:

- (i) The proposal would not comply with policies BE5, BE13, BE15, BE19, BE20, BE21, BE23 and BE38;
- (ii) The proposed development would be out of character with the original house, the street scene and the surrounding area;
- (iii) The proposal would result in an increase in on-street parking;
- (iii) The proposal would represent an overdevelopment of the site;
- (iv) The proposal would constitute inappropriate development in the area;
- (v) The proposed development would not harmonise with the character and appearance of the area;
- (vi) The proposal would block the open aspect between 51 and 53 Pinn Way

Petition:

"This petition is signed by the residents of Pinn Way, Ruislip who are immediately affected and deeply concerned about the scale of the extension to the above property.

We consider that the proposed development of 53 Pinn Way does not conform to the

Council's planning policies and therefore we strongly object to it.

The proposed plans show gross over-development as the bulk and size of the extension is totally out of keeping with the surrounding area. This eyesore would undoubtedly detract from what is an attractive area of North Ruislip and it would in no way improve or complement the character of the area.

The plans also state that there are no trees or hedges within falling distance of the boundary which is incorrect. In addition we also have concerns about traffic and parking as we feel that the size of the proposed development means that adequate provision has not been made for this.

We request that our objections are forwarded to the Planning Committee."

Ruislip Residents' Association:

"We are writing in support of local residents, who have expressed concern at the form of development proposed in this application. Our particular concerns are:

- (i) The extended building would have a footprint double the size of the existing house;
- (ii) The rear extension would not be subordinate to the original house and appears to exceed the maximum permitted depth (HDAS 6.4). It would also block the existing open aspect between Nos.53 and 55, particularly when viewed on the approach from Eastcote Road;
- (iii) The impact the extension would have on the side windows on the south elevation of No.51. It is also not clear from the plans whether it complies with requirements of HDAS 6.3;
- (iv) There is no provision for side access to the rear of the property;
- (v) The proposed roof appears to be large enough to create considerably more living space and presumably this could be allowed under Permitted Development rights at some future date;
- (vi) The bulk of the new roof appears even larger than the previous scheme.

To summarise we believe that, due to its bulk and size, the proposed building would have a detrimental effect both on the street scene and the amenity of adjacent properties."

Officer Comments: The points raised are addressed in the report.

English Heritage (Archaeology): The present proposals are not considered to have an affect on any significant archaeological remains.

INTERNAL

Trees/Landscape:

There are no trees that will be affected by this development and there are no locations to plant new trees, therefore, the Saved Policy BE38 of the UDP does not apply in this case and there are no further comments relating to trees.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions (adopted in August 2006 and to form part of the emerging Local Development Framework documents): 4.0 Side Extensions: Single Storey 6.0 Rear and First Floor Rear Extensions: Two Storey 7.0 Loft Conversions and Roof Alterations
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.

## 5. MAIN PLANNING ISSUES

The main issues for consideration relate to the impact of the proposal on the character and appearance of the original house, on the street scene and surrounding area, and on residential amenity.

The application site lies within a residential area. Pinn Way is characterised by detached houses of varying styles and designs, some of which, include two storey extensions. Given the character of the area, the principle of a two storey rear extension is considered to be acceptable.

However, the proposed two storey rear extension, by reason of its overall size, siting, design, appearance and excessive length of projection, would fail to harmonise with the character and proportions of the original house. The resultant crown roof design is uncharacteristic of the houses in the street and would result in a form of development that would appear incongruous in the street scene.

The proposed side extensions would also fail to appear subordinate with the appearance of the original house as they would result in creating an excessively wide house. These should be set back behind the front wall so as to appear subordinate to the original house.

Overall, the proposed development would represent an incongruous form of development which would fail to harmonise with the character and proportions of the original house and would detract from the character and appearance of the street scene and the surrounding area generally, contrary to policies BE13, BE15 and BE19 of the adopted Hillingdon

Unitary Development Plan (Saved Policies September 2007) and paragraphs 4.0, 6.0 and 7.0 of the Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions.

51 Pinn Way would be separated from the proposed northern side extension by its attached garage. That property has a series of windows overlooking the application property. A 4.5m gap would be retained between the flank walls of the proposed side extension and 51 Pinn Way and furthermore, the existing garage at 51 Pinn Way would screen the impact of the proposed development from that house when viewed from the rear. As such, it is considered that the proposed development would not harm the residential amenities of the occupiers of 51 Pinn Way through, overdominance and visual intrusion. No windows are proposed facing that house and therefore, no overlooking will result. The proposed development would result in an increase in overshadowing onto 51 Pinn Way during the afternoon hours however this increase is not considered to be so significant as to justify a refusal of planning permission.

The proposed two storey rear extension would not project beyond the rear wall of 55 Pinn Way. Furthermore, that property does not have any habitable room flank windows facing the application site. The proposed single storey side extension along the southern flank wall would project beyond the front wall of 55 Pinn Way. However, as that property lies to the south of the application property, no overshadowing will result.

It is therefore considered that the proposal would not harm the residential amenities of adjoining occupiers and would be in accordance with policies BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). The new windows would provide an adequate outlook and natural light to the rooms they would serve, in accordance with London Plan Policy 4A.3.

Some 300sq.m of private amenity space would be retained which would be sufficient for the enlarged house. With regards to parking, the application site would remain as a dwelling house and as such, under the Council's parking standards, two off-street parking spaces should be retained. Two off-street parking spaces are retained in the front area and as such, the proposal would not result in an increase in on-street parking, in accordance with policies AM7 and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

In conclusion, for the reasons outlined above and that the proposal would be contrary to the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007), this application is recommended for refusal.

## **6. RECOMMENDATION**

### **REFUSAL for the following reasons:**

#### **1 NON2 Non Standard reason for refusal**

The proposed two storey rear extension, by reason of its overall size, siting, design, appearance and length of projection design, would represent a disproportionate and incongruous addition that would fail to appear subordinate to the appearance of the original house. It would be detrimental to the appearance of the original house and would detract from the character and appearance of the surrounding area generally, contrary to Policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan

(Saved Policies 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

**2**           NON2           Non Standard reason for refusal

The proposed crown roof design would represent an incongruous form of development which would fail to harmonise with the architectural composition of the original house. It would be detrimental to the character and appearance of the original house and the street scene and surrounding area generally, contrary to Policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

**3**           NON2           Non Standard reason for refusal

The proposed single storey side extensions, by reason of their alignment with the front wall of the original house, would fail to appear subordinate to the appearance of the original house. They would be detrimental to the appearance of the original house and would detract from the character and appearance of the street scene generally, contrary to Policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

## INFORMATIVES

### Standard Informatives

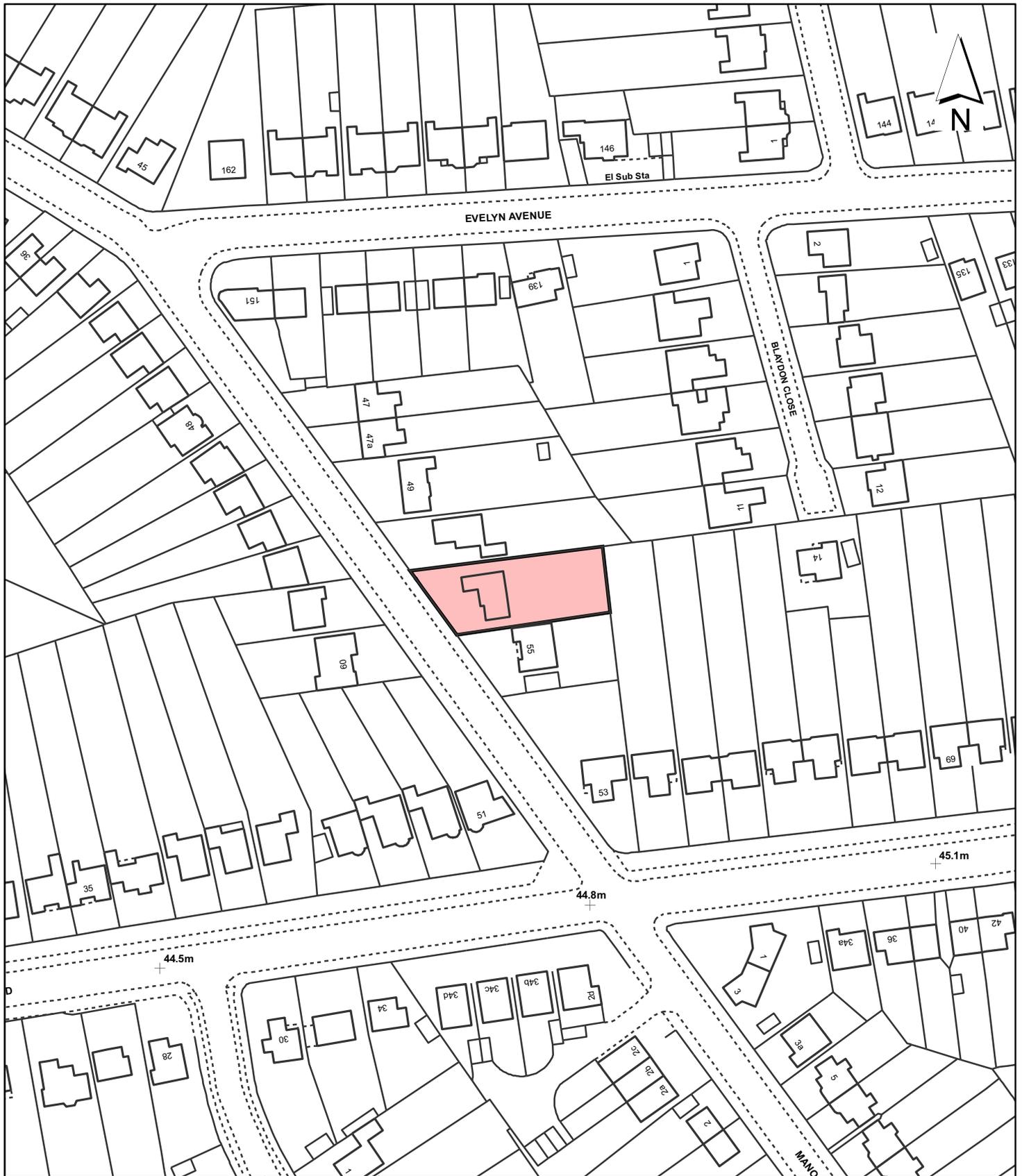
- 1           The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
  
- 2           The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:  
**Policy No.**  

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM7	Consideration of traffic generated by proposed developments.

AM14	New development and car parking standards.
HDAS	Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions (adopted in August 2006 and to form part of the emerging Local Development Framework documents): 4.0 Side Extensions: Single Storey 6.0 Rear and First Floor Rear Extensions: Two Storey 7.0 Loft Conversions and Roof Alterations
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.

**Contact Officer:** Sonia Bowen

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**53 Pinn Way  
Ruislip**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**1244/APP/2009/2425**

Scale

**1:1,250**

Planning Committee

**North** Page 120

Date

**July 2010**



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** THE FERNS WITHY LANE RUISLIP

**Development:** Demolition of existing industrial building and erection of a block of 5 flats with associated parking (outline application.)

**LBH Ref Nos:** 6885/APP/2009/2650

**Drawing Nos:** 1:1250 Location plan  
05/3024/8  
05/3024/8  
Flood Risk Assessment  
05/3024/10 Rev. A  
05/3024/9  
Letter dated 15th April 2010  
Design & Access Statement

**Date Plans Received:** 07/12/2009      **Date(s) of Amendment(s):**

**Date Application Valid:** 23/12/2009

### 1. SUMMARY

This scheme seeks outline planning permission to demolish the existing single storey industrial/storage buildings on site and erect a part two storey, part three storey building comprising of 3 studio and 2 one-bedroom units. Only landscaping has been reserved for subsequent approval.

Although the scheme does represent an improvement in design terms, compared to the previously refused scheme (6885/APP/2007/3707), it is considered that the proposed density is still excessive, failing to comply with the density guidelines advocated by the London Plan (February 2008). As a result, the scheme fails to harmonise with the street scene and surrounding area, with the only external amenity space being provided in the form of a roof terrace which does not satisfy Council standards. The scheme also does not make provision for education facilities. The scheme is recommended for refusal.

### 2. RECOMMENDATION

#### Habitable Room Density

Members may recall that this application was deferred from the North committee meeting on the 20/05/10 in order to allow officers to incorporate further information on density calculations and specifically information on how many London Boroughs adopt the same density standards, ie count larger rooms as two rooms for the purposes of calculating habitable room density in relation to the Mayor's density guidelines contained in Table 3A.2 of the London Plan (February 2008).

The officer's report states that to accord with Table 3.2 of the London Plan (February 2008), developments on suburban sites with a PTAL score of 1 such as this should be within the ranges of 50 - 75 units per hectare (u/ha) and 150 - 200 habitable rooms per hectare (hr/ha). With a density of 148 u/ha, the proposed scheme is almost double the unit density expected at the site using the Mayor's

guidelines. As regards, habitable room density, this was calculated to be 349 hr/ha, again well in excess of the Mayor's maximum guidelines. As is common practice at Hillingdon, this was calculated by counting the lounges within the first and second floor one-bedroom flats and the studio rooms within the studio flats (which all have more than two windows serving them) as 2 rooms, given that they exceed an internal floor area threshold of 20sqm. If they were only considered to form one room, the density at approximately 207 hr/ha would be more in keeping, but still exceed, the top end of the Mayor's guidelines.

Members sought clarification of how other London Boroughs dealt with this issue. Of the other 21 outer London Boroughs contacted, we now have information relating to 9 of them. Of these, 8 authorities, including neighbouring Hounslow count larger rooms that are capable of subdivision as two rooms, with most of these authorities taking rooms over 20sqm as the threshold. At Redbridge and Barking and Dagenham, the threshold drops down to 19sqm, with Richmond having the lowest threshold of those authorities replying at 18.6sqm. Merton was the only authority that replied that did not count larger rooms as 2, although they did do in the past, using a threshold of 28sqm. A number of the authorities that responded had formalised this approach within their Unitary Development Plans, or within supplementary planning guidance, but not all.

Therefore of the London Boroughs that took the trouble to respond to our query, 88% take a similar or more stringent view of large habitable rooms in terms of their contribution towards habitable room density. Counting larger habitable rooms, typically those over 20sqm and capable of subdivision is pretty much standard practice across the outer London Boroughs. Thus your officers consider that a reason for refusal based on the excessive density proposed would still be justified.

#### **Education:**

At the previous Committee meeting reference was given to whether an education contribution should be sought from schemes with small unit sizes (e.g 1 bed and studio flats).

The starting position is the London Plan which states that, 'where appropriate Boroughs should use planning obligations to address shortfalls in school capacity arising from planned new housing development...' The Council's Cabinet adopted a supplementary planning document (Planning Obligations Supplementary Planning Document -July 2008) to clarify under which circumstances planning applications would require a planning obligation, including a whole chapter on education contributions. Some contributions rely on consideration of the site specifics of the case, the education contribution however operates on a tariff system. As such, if the Council does not apply the specified tariff for one particular scheme, it can be argued that the whole tariff is undermined and consistency of requiring education contributions affected. Discretion can be applied where there are issues of financial viability affecting scheme delivery, however the applicant has provided no evidence that this applies in this case.

The SPD does in fact specify a minimum flat size from which contributions will be sought. It states, ' Dwellings containing three rooms will be the minimum dwelling size from which planning obligations will be sought'...'it should be clearly noted that it will be the number of rooms, not the number of bedrooms which will be accessed'.

The two 1 bed flats have 3 rooms each and therefore automatically trigger the requirement for a contribution. The studio flats have floor areas of sufficient size that the lounge and kitchen areas count as 2 rooms, each studio also have a reasonable sized bathroom, they therefore also all count as having 3 rooms. The SPD directly references that rooms over 20sq.m will count as 2 rooms to avoid any confusion. The scheme does therefore trigger an education contribution under the SPD. The level of the contribution (£3,165 is less than is requested per each single house on larger developments) reflects the type of scheme proposed for. The education contribution therefore is required by the SPD and is proportionate to the limited educational needs likely to be generated by the development.

#### **Surrounding Amenity Area:**

A map is attached showing all the amenity areas within 500m of the application site.

#### **1 NON2 Non Standard reason for refusal**

The proposal by reason of its siting, overall layout, size, bulk, site coverage and excessive density, would result in a cramped appearance and constitutes an over-development of the site with limited opportunities for landscaping, to the detriment of the character and visual amenities of the area. The proposal would result in a scale of building and hard surfacing that is inappropriate for the plot and would be to the detriment of the living conditions of future occupiers. The proposal is therefore contrary to Policies BE13, BE19 and BE38 of the Hillingdon Unitary Development Plan Saved Policies September 2007, the Supplementary Planning Document HDAS: Residential Layouts and Policy 3A.3 of the London Plan.

#### **2 NON2 Non Standard reason for refusal**

The proposal fails to provide an adequate amount of private usable amenity space for the future occupiers of the proposed flats to the detriment of the amenities of future occupiers and contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies September 2007 and the adopted Supplementary Planning Document HDAS: Residential Layouts.

#### **3 NON2 Non Standard reason for refusal**

The development is estimated to give rise to a number of children of school age and additional provision would need to be made in the locality due to the shortfall of places in schools serving the area. Given that a legal agreement at this stage has not been offered or secured, the proposal is considered to be contrary to Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the adopted London Borough of Hillingdon Planning Obligations Supplementary Planning Document (July 2008).

### **INFORMATIVES**

#### **1 I52 Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies,

including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

## **2 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

OL5	Development proposals adjacent to the Green Belt
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
H4	Mix of housing units
H8	Change of use from non-residential to residential
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LPP	London Plan (February 2008)
PPS1	Delivering Sustainable Development
PPS3	Housing
HDAS	Residential Layouts Accessible Hillingdon Planning Obligations SPD (July 2007)
SPG	Interim Housing Supplementary Planning Guidance, April 2010
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities

## **3**

The applicant is advised that in the event of any resubmission the bathrooms/en-suite facilities should be designed in accordance with Lifetime Home standards. Whilst it is acknowledged that the relevant space standards in front and to the side of the WC have been incorporated, the vanity unit design would not be conducive to the spirit of Lifetime Home standards. The vanity units should be designed out or staggered to allow a wheelchair user to reverse back sufficiently to perform a successful side transfer from wheelchair to WC. In addition, a kneehole space of 700mm high and 500mm deep should be incorporated to allow wheelchair access to the basin. To allow bathrooms to be

used as a wet room in future, any future detailed application should indicate floor gulley drainage.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The L-shaped application site is located on the east side of Withy Lane, some 25m to the north of its junction with Breakspear Road. It comprises a detached part single storey, part two storey detached building in use as a stone mason's workshop with ancillary storage.

To the south of the application site, fronting Breakspear Road is Rotary House, a three storey building comprising two floors of office space with residential flats above. Car parking serving the building and its access from Withy Lane separates the two sites. To the east of Rotary House is a 24 hour service station with car washing facilities and to the north of the application site is the Ruislip Fire Station. On the opposite side of Withy Lane is the Breakspear Crematorium, with two cottages within its grounds immediately opposite the application site. The site on the southern side of Breakspear Road, opposite Withy Lane incorporates a Grade II Listed Building and is in use for car sales.

Breakspear Crematorium forms part of the Green Belt, a designation which also includes Withy Lane itself.

#### **3.2 Proposed Scheme**

This application seeks outline permission for the erection of an 'L' shaped, part two storey, part three storey building sited on the eastern side of Withy Lane, some 20m to the north of its junction with Breakspear Road. The proposal would involve the demolition of the existing part single storey, part two storey workshop and associated storage buildings. The proposed building would comprise 3 studio and 2 one-bedroom flats, with associated car parking. Only landscaping has been reserved for subsequent approval. A total of 6 car parking spaces would be provided, 5 spaces at the rear of the site, accessed through an undercroft via a triple width crossover, with a disabled space and bin and cycle storage provision within the undercroft. The rest of the ground floor would be taken up by a studio flat, with a studio and one-bedroom flat on the first and second floors above. The northern half of the roof space would be used as a communal roof terrace. The building would be set back 300mm from the northern side boundary and 1.05 from the southern side boundary. It would be set back from Withy Lane at its nearest point by 800mm, increasing to 2.4m at its southern end. The building would have a maximum width of 18m and depth of 11.2m and drops to a two storey height for 3m of its width on the southern side. The building incorporates a front projecting communal staircase and private balconies and curved roof elements.

#### **3.3 Relevant Planning History**

##### **Comment on Relevant Planning History**

This application follows four applications for residential development at the site, one of which was withdrawn. The most recent was for a three storey building with roof terrace to provide 5 one-bedroom flats (6885/APP/2007/3707) which was refused on the 15th December 2008 for the following reasons:

1. The proposal by reason of its siting, design, overall layout, size, bulk, site coverage and excessive density, would have a cramped appearance and constitutes an over-

development of the site, to the detriment of the character and visual amenities of the area. The proposal would result in a scale of building and hard surfacing that is inappropriate for the plot and would compromise residential development standards to the detriment of the living conditions of prospective occupiers. The proposal is therefore contrary to Policies BE13, BE19 and BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), the Supplementary Planning Document HDAS: Residential Layouts and Policy 3A.3 of the London Plan.

2. Whilst the applicant has marketed the business, no information has been supplied as to the marketing of the site for business purposes. As such, it is considered that the applicant has failed to justify the loss of the existing workshop and the proposal is thus contrary to Policy LE4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3. The floor areas of three of the proposed 1-bed flats are below the minimum 50m<sup>2</sup> internal floor area required for a one-bedroom flat. As such the proposal fails to provide a satisfactory residential environment for future occupiers, contrary to Policies BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and section 4.0 of the Council's HDAS (SPD) 'Residential Layouts'.

4. The proposed development by reason of its overall size, height, siting and length of projection would result in an overdominant/visually obtrusive form of development in relation to the neighbouring residential flats at Rotary House, and as such would constitute an un-neighbourly form of development, resulting in a material loss of residential amenity. The proposal is therefore contrary to Policies BE19 and BE21 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the Council's HDAS (SPD) 'Residential Layouts'.

5. The proposal fails to provide an adequate amount of private usable amenity space for the future occupiers of the proposed flats to the detriment of the amenities of future occupiers and contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and HDAS (SPD) 'Residential Layouts'.

6. The proposed plans indicate that the rear parking spaces 1, 2 and 3 will be reduced in size by the boundary landscaping to below Council Standards of 2.4m wide by 4.8m long, and in turn would be likely to reduce the aisle width or forecourt depth to below the Council's minimum of 6m. As a result the proposal would be detrimental to highway and pedestrian safety contrary to Policies AM7 (ii) and AM14 and the Council's Car Parking Standards of the Hillingdon Unitary Development Plan, Saved Policies (September 2007).

6885/APP/2005/3075 - Full permission for the erection of a four-storey building containing 6 one-bedroom flats together with parking spaces was refused on 3rd May 2006 on grounds of excessive density, Green Belt grounds, impact upon flats at Rotary House, inadequate amenity space and inadequate car parking.

6885/APP/2004/745 - Outline permission for the erection of a three-storey building containing three two-bedroom flats and 6 one-bedroom flats and car parking spaces was withdrawn on 12th August 2004.

6885/K/97/808 - Outline permission for the erection of a three storey block of 6 flats including access and parking was refused on 18th March 1998 on grounds of excessive density, disputed ownership of whole site, inadequate amenity space, excessive disturbance of amenity space by vehicle movements, inadequate parking, no

archaeological and noise assessments and inadequate visibility.

#### 4. Planning Policies and Standards

##### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

- OL5 Development proposals adjacent to the Green Belt
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OE11 Development involving hazardous substances and contaminated land - requirement for ameliorative measures
- H4 Mix of housing units
- H8 Change of use from non-residential to residential
- LE4 Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- LPP London Plan (February 2008)
- PPS1 Delivering Sustainable Development
- PPS3 Housing
- HDAS Residential Layouts  
Accessible Hillingdon  
Planning Obligations SPD (July 2007)
- SPG Interim Housing Supplementary Planning Guidance, April 2010

R17 Use of planning obligations to supplement the provision of recreation, leisure and community facilities

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

20 neighbouring properties have been consulted on the application. 1 letter has been received and a petition in support of the proposal with 21 signatures was submitted with the application.

The individual letter is sent on behalf of residents of Rotary House and states that they would have no objections, providing:

- (i) No access will be allowed for all vehicles, either construction or future residents across our boundaries;
- (ii) No loss of natural light into Rotary House;
- (iii) Require method statements to show how dust and/or debris would be kept away from residents and employees cars and the prevention of dust pollution into offices and residential apartments.

The petition in support states:

1. The flats are accommodated on land which is currently underused, allowing for new homes without causing pressure to build on green field sites;
2. The application site is well located in close proximity to amenities and very good primary and secondary schools;
3. The scheme has been designed in order to protect the residential amenity of the neighbouring properties;
4. The flats harmonise with the character and appearance of the area;

Ruislip Residents' Association:

This latest proposal appears to have a footprint and overall height similar to the previous application (6885/APP/2007/3707), which was refused in December 2008. Our comments therefore are similar to those stated in our letter dated 20 February 2008 regarding that application, ie.

\* The proposed building would be over dominant on Withy Lane

\* Due to the lack of amenity space at ground at ground level it is proposed to provide a roof terrace. Use of this terrace would result in overlooking of the rear gardens of Crematorium Cottages and grounds. Also when used by the occupants of the five flats and any guests it could result in an unacceptably high level of noise. As officers will be aware this is more noticeable when generated at roof level and could affect the amenity of nearby residential properties and the Crematorium.

We therefore feel the development is not in character with the area.

We are also concerned about the effect the development would have on the adjacent deciduous tree adjacent to the northwest corner of the site.

Ickenham Residents' Association: No comments received.

Environment Agency:

We consider that planning permission should only be granted to the proposed development as submitted if the following planning conditions are imposed as set out below. Without these conditions, the proposed development on this site poses an unacceptable risk to the environment and we would wish to object to the application.

Condition 1

The development hereby permitted shall not be commenced until such time as a scheme to ensure finished floor levels are set no lower than 44.65m above Ordnance Datum (AOD) has been submitted to, and approved in writing by, the Local Planning Authority.

The scheme shall be fully implemented and subsequently maintained, in accordance with the timing/phasing arrangements embodied within the scheme or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority.

Reason: To reduce the risk of flooding to the proposed development and future occupants.

Condition 2

Prior to the commencement of development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), the following components of a scheme to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the Local Planning Authority:

1) A preliminary risk assessment (PRA) which has identified:

- \* All previous uses;
- \* Potential contaminants associated with those uses;
- \* A conceptual model of the site indicating sources, pathways and receptors;
- \* Potentially unacceptable risks arising from contamination at the site.

2) A site investigation scheme, based on (1) to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site;

3) The site investigation scheme, based on (2) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.

4) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in (3) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express consent of the Local Planning Authority. The scheme shall be implemented as approved.

Reason:

The site lies within an inner source protection zone and there is no London clay to protect the major groundwater aquifer. There is insufficient information to make an assessment of the potential for contamination from previous uses to adversely affect groundwater.

Note: We wish to be consulted on any details submitted in compliance with the above conditions.

#### **Internal Consultees**

Tree Officer:

### The Site

The application form continues to make no reference to the off-site Ash tree to the north of the site. However, the location and approximate spread of the tree is shown on drawing Nos.9 and 10 Rev A. There are no TPO's or Conservation Area designations affecting trees on, or close to, the site.

### The Proposal

Following previous submissions for the re-development of this site, the current outline application proposes to demolish the existing stone mason's yard and erect a block of 5 No. flats with associated parking.

The Design & Access Statement fails to comply with CABI's guidance in as much that it makes no assessment of the local landscape quality and sets out no specific landscape objectives for the enhancement of the site as an integral part of the development. However, it does refer to a communal roof terrace and the provision of private balconies. Drawing ref. 9 and 10 Rev A indicate the presence of planting to the Worthy Lane frontage and around the rear parking court.

### Key Landscape Issues

There is no comment made about the off-site Ash tree but it appears likely that it will be affected by the development. Tree surgery and possibly removal will be necessary. Saved policy BE38 requires landscape enhancement as an integral part of the development. If the amenity space provision is to rely on the roof terrace and private balconies, the roof should be both functional and attractive. Similarly, the balconies should be deep enough to sit out on (i.e. not Juliet balconies). Due to the nature of the shared/communal open spaces, details of the landscape management and maintenance will be required to ensure that the landscape is established and maintained in accordance with the design objectives.

### Recommendation

If you are minded to approve this application, there are no objections subject to reserved matters (landscape) and conditions TL1, TL2, TL3, TL4, TL6 and TL7.

### Highway Engineer:

The provision of 6 car parking spaces, including 1 disabled bay is in accordance with the Council's maximum car parking standards. The disabled bay should have a 1.2m clear transfer space marked to the side and rear of the bay. The parking provision and design of the disabled bay including surface material of the access road and parking area should be covered through a suitable planning condition.

The Council's minimum cycle parking standards stipulate a requirement of 5 spaces. The proposed cycle storage is not suitable for 5 spaces. A suitable condition should be attached to provide 5 cycle parking/storage spaces, details of which shall be submitted to and approved by LPA.

A suitable planning condition should be applied to restrict the access width to 4.1m.

The vehicular access shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

The location of refuse and recycle storage is within acceptable trundle distance from the highway.

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hardstanding shall therefore

be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system. This should be covered through an informative.

Subject to the above conditions being applied, there is no objection on the highways aspect of the proposals.

Environmental Protection Services: I do not wish to object to this proposal.

Two environmental protection issues need to be addressed. These are noise and contaminated land. Air quality is not a significant factor given the size of the proposal and its location outside an air quality management area.

#### Contaminated land

The site is presently used as a stonemason's yard. According to the applicant the site was previously used as a metal works and there was another industrial use prior to that. Metalworking can involve the use of toxic materials such as chromium and cyanide. Volatile organic compounds can be used as degreasing agents in such works. It would not be surprising to find evidence of these substances at this site. In addition to the site itself adjacent uses have to be considered. East of the site is a service station. The possibility of leaks from underground fuel tanks cannot be discounted and there is a corresponding risk that the site might have been affected. Similar considerations apply in respect of the fire station north of the application site where it is likely that polluting materials have been used in the course of fire training. There are no landfills known to exist within 250 metres of the site.

A desktop study is required to determine the site characteristics and identify all possible risks that may exist on the site and its surrounding in relation to the proposed residential development, by reviewing the current/historical land uses and ground conditions. Should planning permission be granted I would therefore recommend the following condition be applied;

#### Condition 1

Before any part of this development is commenced a site survey to assess the land contamination levels shall be carried out to the satisfaction of the Council and a remediation scheme for removing or rendering innocuous all contaminates from the site shall be submitted to and approved by the LPA. The remediation scheme shall include an assessment of the extent of site contamination and provide in detail the remedial measures to be taken to avoid risk to the occupiers of the site, members of the public, buildings and the environment when the site is developed. All works that form part of this remediation scheme shall be completed before any part of the development is occupied, unless otherwise agreed in writing by the LPA.

Any imported material i.e. soil shall be tested for contamination levels therein to the satisfaction of the Council.

Reason: To ensure that the occupants of the development are not subjected to any risks from land contamination.

The Supplementary Planning Guidance on land contamination gives general advice on information required to discharge the planning condition.

#### Noise

The proposed development comprises flats only so there is no need to consider the effects of noise on private gardens because there are none. The site is not adversely affected by road, rail or air

traffic noise. The office block to the south of the site would not be expected to be a significant source of noise, other than the six air conditioning units on the façade and the staff parking. The fire station, although a twenty-four hour emergency operation is not known to be a source of complaints about noise and neither is the service station east of the site. However, the proximity of these uses, particularly the service station, does present a risk of noise disturbance. The service station is open round the clock however it has been confirmed by EPU that the car wash at the adjacent BP service station ceases to be used at 20:00 hours.

Residents living near 24 hour service stations may experience noise from vehicles arriving and departing, from car radios, from customers themselves and ancillary equipment such as car washes, air pumps and the like. Equally, hydraulic and pneumatic equipment may be used by the Fire Service for example for training purposes in the yard.

The scale of the proposed development is such that to require an acoustic assessment would probably be excessive. It would be more cost-effective to require that the applicant submit a scheme for approval of the window schedule for the habitable rooms (bedrooms and living rooms) of the flats on the eastern façade and the following condition is advised;

#### Condition 2

The use hereby permitted shall not commence until a scheme for the design and specification of the windows and ventilation for the habitable rooms of the flats on the eastern façade as shown on the submitted plan numbered 05/3024/10 has been submitted to and approved by, the Local Planning Authority. The scheme shall include such combination of measures as may be approved by the LPA. The said scheme shall include such secure provision as will ensure that the said scheme and all of it endures for so long as the development is available for use and that any and all constituent parts are repaired and maintained and replaced in whole or in part so often as occasion may require.

Reason: To safeguard the amenities of the new residential properties.

Informative. The scheme should specify acoustic double-glazing and ventilation provision capable of providing adequate ventilation without the windows having to be opened.

#### Environmental Protection Services (Land Contamination):

The application site appears to be a former works based on Ordnance Survey maps. The nature of the works is unknown. Ideally with these types of application a contamination survey should be submitted with the application. In its absence the following contaminated land condition is advised for any permission given.

'Before any part of this development is commenced a site survey to assess the land contamination levels shall be carried out to the satisfaction of the Council and a remediation scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved by the Local Planning Authority. The remediation scheme shall include an assessment of the extent of site contamination and provide in detail the remedial measures to be taken to avoid risk to the occupiers and the buildings when the site is developed. All works which form part of this remediation scheme shall be completed before any part of the development is occupied (unless otherwise agreed in writing by the Local Planning Authority). The condition will not be discharged until verification information has been submitted for the remedial works. Any imported material i.e. soil shall be tested for contamination levels therein to the satisfaction of the Council.

Reason: To ensure that the occupants and users of the development are not subject to any risks from contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan

Saved Policies (September 2007).'

Note: The Environmental Protection Unit (EPU) must be consulted at each stage for their advice when using this condition. Supplementary Planning Guidance on Land Contamination provides some general guidance on the information required to satisfy the condition. The Environment Agency, EA, should be consulted when using this condition. Contaminates may be present in the soil, water (ground/surface) and gas within the land or exist on the surface of the land.

Access Officer:

I have no fundamental objections to this scheme. If the application is refused I would request the following informative as part of any future re-submission:

The bathrooms/en-suite facilities should be designed in accordance with Lifetime Home standards. Whilst it is acknowledged that the relevant space standards in front and to the side of the WC have been incorporated, the vanity unit design would not be conducive to the spirit of Lifetime Home standards. The vanity units should be designed out or staggered to allow a wheelchair user to reverse back sufficiently to perform a successful side transfer from wheelchair to WC. In addition, a kneehole space of 700mm high and 500mm deep should be incorporated to allow wheelchair access to the basin. To allow bathrooms to be used as a wet room in future, any future detailed application should indicate floor gulley drainage.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

Policy LE4 of the UDP (Saved Policies) states that proposals which involve the loss of existing industrial floorspace or land outside of designated Industrial and Business Areas will only be permitted if the existing use seriously affects amenity, is unsuitable for industrial/business redevelopment, is unlikely to be used for industrial /warehousing space in the future and accord with the Council's regeneration policies for the area.

The applicants state that Withy Lane is a narrow cul-de-sac with The Ferns being the only industrial use in the road. The use is unrestricted in terms of operating hours and being a small restricted site with no scope to expand, the use for the preparation and cutting of stone products ranging from granite worktops to memorials makes servicing of the site extremely difficult, given the narrow width of road. The lack of off-street parking results in delivery lorries blocking the road which has resulted in complaints to the Council, as has the open storage of wood used in the packaging waiting for disposal due to the lack of space on site. Given the above, there is little prospect of the site continuing in its current use.

As regards employment, the applicants state that there is currently only one full time employee with other specialist contractors visiting the site to carry out specialist tasks so that any impact upon employment with the loss of the use would be negligible. They are also seeking alternative premises within the borough.

It is considered that the existing use of the site clearly has the potential to seriously affect surrounding properties and given its restricted size and location, is unlikely to be used for industrial/business purposes in the future. As such, it is considered that it has been demonstrated that the scheme accords with Policy LE4 and overcomes the second reason for refusal of the previous scheme.

### **7.02 Density of the proposed development**

Table 3.2 of the London Plan (February 2008) recommends that developments on suburban sites with a PTAL score of 1 should be within the ranges of 50 - 75 u/ha or 150 -

200 hr/ha. Counting the larger habitable rooms with an internal floor area in excess of 20m<sup>2</sup> that are capable of being subdivided, this scheme has a density of 148 u/ha and 349 hr/ha which is above both thresholds. Whilst the density matrix contained in Table 3.2 is clearly intended as a guide, the latest guidance from the Mayor contained in the Interim Housing Supplementary Planning Guidance, April 2010 advises at paragraph 3.4 that 'unless additional reasons to justify exceeding the top of the appropriate range can be demonstrated rigorously, they should be resisted.'

It is considered that the density of the development is excessive and the site cannot accommodate the proposed level of development whilst maintaining a satisfactory environment within and around the site. No ground floor amenity space is provided, with the only amenity space proposed taking the form of a roof terrace which does not satisfy standards. The proposed building is also sited hard up against the site boundaries, with little provision being made for landscaping. Given the proposed siting and layout, it is considered that the scheme would not harmonise with the surrounding area and fails to achieve good environmental conditions for future residents of the flats, contrary to London Plan Guidelines and Council policies. This illustrates the cramped nature of the proposal. As such, the scheme has not overcome the first reason for refusal of the previous scheme (6885/APP/2007/3707).

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application site is not within an Archaeological Priority Area and is not within a Conservation Area or an Area of Special Local Interest. There is a Grade II Listed Building on the opposite side of Breakspear Road but it is considered that the proposal would be too remote from this building to adversely affect its setting, particularly as the building is surrounded by vehicles being offered for sale.

#### **7.04 Airport safeguarding**

Not applicable to this development.

#### **7.05 Impact on the green belt**

As regards the green belt reason for refusal of application 6885/APP/2005/3075, the Officer's report to committee on the 9th December 2009 considering the previous scheme (6885/APP/2007/3707) advised that 'the Council's GIS now places the application site outside the green belt. As such, Green Belt issue does not form part of the assessment of the current application.'

In terms of Policy OL5 of the UDP (Saved Policies) and the impact of development adjacent to the Green Belt, it is considered that the proposal would not adversely harm its open character, given the siting and scale of adjoining development, including the adjoining three storey Rotary House, five storey tower at the adjoining Ruislip Fire Station and two storey terrace housing at the northern end of Withy Lane.

#### **7.06 Environmental Impact**

Not applicable to this development.

#### **7.07 Impact on the character & appearance of the area**

Policies BE13 and BE19 require development to harmonise with the street scene and to safeguard the amenity and character of the surrounding area.

Withy Lane is characterised by a mix of residential and commercial/industrial properties of differing design, which are predominantly two and three storeys in height. The area is also somewhat dominated by the five storey training tower at the Ruislip Fire Station immediately adjoining the site to the north. The application site itself consists of two buildings. The main building is part single, part two-storey, with both pitched and flat roof components, and fronts directly onto Withy Lane. It is currently used as a workshop and

ancillary offices. The secondary building is single storey with a flat corrugated roof and is used for storage.

No objections are raised to the design of the proposal. It is considered to be of an acceptable modern asymmetrical design, incorporating flat and curved roof elements that add visual interest and successfully step down the mass of the building. The use of balconies on the front elevation with a projecting centrally sited stairwell helps to break up the mass of the building, as does the use of contrasting brickwork and render between the ground/first and second floors. The main concern relates to the extent that the building fills the site, with little in the way of landscaping being provided and the area to the rear of the building would almost be entirely hardsurfaced to accommodate off-street car parking.

Furthermore, Policy BE22 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) requires buildings of two or more storeys to be set back a minimum of 1m from the side boundaries for the full height of the building. The building does not achieve this on its northern boundary, with only a 300mm gap being proposed. Although this policy is primarily concerned with ensuring that visual gaps are provided between buildings, the overall height and depth of the building and its proximity to the northern side boundary would give the building an unduly cramped appearance. The lack of a setback would also not afford any opportunity for planting to help break up the mass of the building as viewed from the north. Furthermore, although visual coalescence with the proposed building is unlikely to occur presently, as the site adjoins the relatively open fire station to the north, the site may be redeveloped in the future. The proposal is therefore considered to be contrary to policy BE22.

#### **7.08 Impact on neighbours**

The nearest residential properties to the application site are the second floor flats in Rotary House and Crematorium cottages, the two houses on the opposite side of Withy Lane.

The nearest part of the proposed building would be sited 7.5m from the existing flats. However, at this point, the building would be two storey (a major change from the previously refused scheme which proposed 3 storeys), only increasing to 3 storey at a distance of 10.5m. Design guidance advises that development of two or more storeys should be sited at least 15m from adjoining habitable room windows. However, that guidance assumes the habitable room windows will be at ground floor, whereas in this instance, the three storey element of the proposed building only represents a single storey building as viewed from the second floor flats. As such, the spirit and purpose of the guidance would not be breached and the 10.5m separation gap is adequate to prevent the building from appearing unduly dominant. In terms of loss of sunlight, the flats in Rotary House, being sited to the south of the proposal would not be affected and there are no windows proposed in the flank elevation of the building facing Rotary House and the side walls to the roof terrace would prevent any overlooking to Rotary house.

As regards Crematorium Cottages, the proposed building and its roof terrace would be sited over 21m from the habitable room windows of the nearest house, No. 2 Crematorium Cottages and its rear amenity space.

As such, it is considered that the revised scheme overcomes the reason for refusal of the previous scheme and complies with policies BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Saved Policies (September 2007) and the Council's SPD HDAS: Residential Layouts.

#### **7.09 Living conditions for future occupiers**

All the habitable rooms of the proposed flats would have an adequate outlook and all their facilities would be self-contained. The one-bedroom flats would have an internal floor area of 56m<sup>2</sup> and the ground and first floor studio flats would have floor areas of 45m<sup>2</sup>, with the second floor studio unit having a floor area of 33m<sup>2</sup>. These areas are adequate to ensure that the floor areas satisfy the Council's minimum floor areas of 33m<sup>2</sup> and 50m<sup>2</sup> for studio and one-bedroom flats as contained in the Council's SPD HDAS: Residential Layouts. It is therefore considered that the units would provide internal floor space to achieve adequate living conditions for their future occupiers. The scheme is considered to have overcome the third reason for refusal of the previous application (6885/APP/2007/3707).

Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) requires the provision of amenity space, which is usable in terms of its shape and siting. The Council's SPD HDAS: Residential Layouts, advises that 20m<sup>2</sup> of amenity space is required for each studio and one-bedroom flats, giving a total requirement of 100m<sup>2</sup> for the 5 units. The proposal does not provide any ground floor amenity space. A shared roof terrace is proposed, with an area of 56m<sup>2</sup>. However, this reduces to 40m<sup>2</sup> if the roof area shown to contain five solar panels is not included in the assessment of usable amenity area. The proposal also includes small balconies for each of the flats, but these would have floor areas of less than 3m<sup>2</sup>. It is noted that there are public parks and open space within easy walking distance of the site, but the Council standards relate to private space and it is concluded that given the size of the shortfall from these minimum standards, a relaxation from standards would not be justified in this suburban location. It is therefore concluded that the size, form and location of the proposed amenity space is not considered to result in satisfactory usable amenity space for the occupiers of the development and as such, the proposal would not afford satisfactory living conditions for future occupants, contrary to policy BE23 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's SPD HDAS: Residential Layouts. The proposal fails to overcome the fifth reason for refusal of the previous scheme.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The Council's adopted car parking standards require a maximum provision of 1.5 spaces per unit and 6 spaces are proposed. The Council's Highway Engineer raises no objections to this level of provision and the general layout is acceptable. Other issues raised by the Highway Engineer relate to access around the disabled parking space, surface materials of parking spaces and access road, cycle parking and restriction of the width of access to 4.1m could be controlled by condition, if the application were not recommended for refusal. The proposal is therefore considered to comply with policies AM7 and AM14 of the adopted Hillingdon Unitary Development Plan saved Policies (September 2007) and overcomes the sixth reason for refusal of the previous scheme.

#### **7.11 Urban design, access and security**

This is dealt with in Sections 7.07 and 7.09.

#### **7.12 Disabled access**

The Council's Access Officer does not raise objection to the scheme, advising on detailed matters as regards compliance with Lifetime Homes standards. If the proposal had not been recommended for refusal, this could have been dealt with by way of a condition.

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this development.

#### **7.14 Trees, Landscaping and Ecology**

The Council's Tree Officer advises that an off-site Ash Tree immediately to the north of the site will possibly be required to be removed to accommodate the scheme, but no objections are raised to this loss. If the application had been recommended for approval, a

comprehensive landscaping scheme would have been required as part of the reserved matters and conditions attached to any outline approval. As such, the scheme complies with policy BE38 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7.15 Sustainable waste management**

The proposal makes adequate provision for refuse/recycling storage, the details of which would have been required by condition if the application were being recommended for approval.

#### **7.16 Renewable energy / Sustainability**

The proposal does ensure that all the habitable rooms would be well served by natural daylight and five solar panels have been included on the roof terrace. An appropriate renewable energy scheme would have been conditioned if the application had not been recommended for refusal.

#### **7.17 Flooding or Drainage Issues**

Policy OE7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) advises of the need to provide flood protection measures in new development in areas liable to flood. A flood risk assessment has been submitted with the application and the Environment Agency advise of the need for a condition to ensure that finished floor levels are at a suitable height. This would have been attached if the application had not been recommended for refusal. As such, the scheme complies with Policy OE7 of the saved UDP.

#### **7.18 Noise or Air Quality Issues**

The site is surrounded by non-residential development, including the fire station immediately to the north, the car parking area serving Rotary House to the south and the 24 hour Burt Street Service Station to the rear. Such uses could generate disturbance to the occupiers of the proposed flats. However, the Council's Environmental Protection Officer considers that the potential for noise would be limited and could be mitigated through an appropriate condition requiring details of the windows and ventilation on the eastern facade to be submitted. If the application were to be approved, a condition would be recommended requiring such a scheme. As such, the scheme complies with policies OE1 and OE3 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) requiring details of a noise mitigation scheme.

#### **7.19 Comments on Public Consultations**

As regards the matters raised in the individual response letter, point (i) is noted. Point (ii) is dealt with in the main report and Point (iii), relating to dust/debris would have been conditioned as part of a Construction Management Plan. The matters raised in the petition in support are noted and the objections raised by the Ruislip Residents' Association have been dealt with in the main report.

#### **7.20 Planning Obligations**

Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) is concerned with securing planning obligations to supplement the provision recreation open space, facilities to support arts, cultural and entertainment activities, and other community, social and education facilities through planning obligations in conjunction with other development proposals. These UDP policies are supported by more specific supplementary planning guidance.

Education Services advise that this scheme generates a need of a total contribution towards additional education space of £3,165 (Primary - £454, Secondary - £1,757 and £954 Post 16). As the application is being recommended for refusal, no detailed negotiations have been entered into with the developer in respect of this contribution. As

no legal agreement to address this issue has been offered, the proposal fails to comply with Policy R17 of the UDP Saved Policies (September 2007) and it is recommended the application should be refused on this basis.

#### **7.21 Expediency of enforcement action**

Not applicable to this development.

#### **7.22 Other Issues**

The Council's Environmental Protection Officers and the Environment Agency raise concerns regarding the possibility of land contamination on site. However, they also advise that this could be dealt with by suitable condition(s) if the application were to be recommended for approval.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

### **9. Observations of the Director of Finance**

Not applicable to this development.

### **10. CONCLUSION**

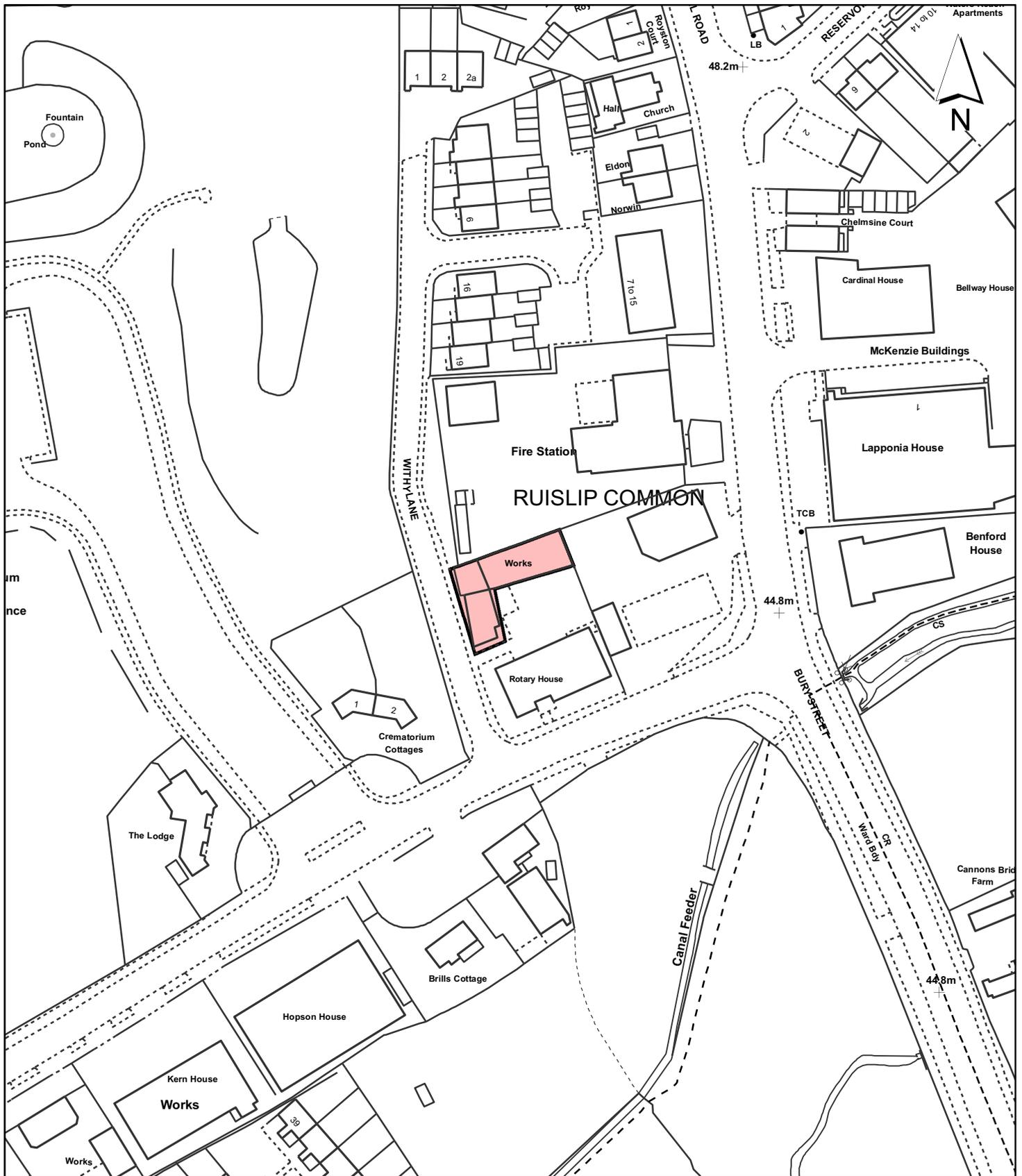
This scheme is considered to have too high a density, in excess of that recommended by the London Plan which fails to harmonise with the surrounding area and does not satisfy the minimum amount of amenity space required by guidance. The scheme also does not make provision to secure a contribution towards additional education facilities. The scheme is recommended for refusal.

### **11. Reference Documents**

Planning Policy Statement 1 (Delivering Sustainable Development)  
Planning Policy Statement 3 (Housing)  
The London Plan  
Mayor's Interim Housing Supplementary Planning Guidance, April 2010  
Hillingdon Unitary Development Plan Saved Policies September 2007.  
Hillingdon Design and Accessibility Statement - Residential Layouts  
Supplementary Planning Guidance - Educational Facilities  
Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**The Ferns  
Withy Lane  
Ruislip**

Planning Application Ref:

**6885/APP/2009/2650**

Planning Committee

**North** Page 140

Scale

**1:1,250**

Date

**May 2010**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 8 SUNNINGDALE AVENUE RUISLIP

**Development:** Demolition of existing residential care home and the erection of a two storey, with habitable roof space, detached building comprising 8 two-bedroom flats with associated parking and amenity space and installation of new vehicular crossover to front

**LBH Ref Nos:** 19038/APP/2010/770

**Drawing Nos:** Location Plan to Scale 1:1250  
2742.HOS.4a  
10/3215/1 Rev. A  
10/3215/2  
10/3215/3  
10/3215/4  
10/3215/5  
10/3215/6  
Design & Access Statement  
Energy and Sustainability Statement  
Arboricultural Survey

**Date Plans Received:** 06/04/2010                      **Date(s) of Amendment(s):**

**Date Application Valid:** 29/04/2010

### Reason for Urgency

Although this application has not been before Members of the committee at least 5 working days in advance of the meeting, it is considered to warrant urgent action as an appeal against non-determination has now been lodged, and the Local Planning Authority needs to advise the Planning Inspectorate of the determination that would have been made, had the appeal not been lodged, within the appeal time frame.

### 1. SUMMARY

Planning permission is sought for the erection of a detached two storey building with habitable roof space to provide 8 two-bedroom flats to replace the existing detached two storey care home on site. Although the proposed building would occupy the front of the site, in a similar position to the existing building, a large car parking area is proposed at the rear. It is considered that the parking and access arrangements would be out of keeping with the surrounding pattern of residential development and would remove much of the existing rear garden so as to be detrimental to the traditional residential character of the area. The proposed building, with a large crown roof and awkward large rear two storey wing is also not considered to be in keeping with the area. Furthermore, much of the amenity space would be overshadowed for most of the morning and early afternoon, limiting its usability. Also, the tree information is contradictory and the parking access and cycle store provision is considered to be unsatisfactory, prejudicing highway safety. The application also does not make provision for an education contribution.

As the application has been appealed for non-determination, the Planning Inspectorate need to be informed that the application would have been determined accordingly.

### 2. RECOMMENDATION

**That had an appeal for non-determination not been lodged, the application would have been refused for the following reasons:**

**1 NON2 Non Standard reason for refusal**

The proposal, by reason of its excessive density and site coverage with buildings and hard-standing, represents an over-development of the site, that would be out of keeping with the pattern of surrounding residential development and results in an excessive loss of garden space, detrimental to the verdant character and visual amenity of the area. The development therefore fails to harmonise with the character of the surrounding area, contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 3A.3, 4B.1 and 4B.8 of the London Plan, guidance within The London Plan Interim Housing Supplementary Planning Guidance, April 2010 and Planning Policy Statement 3: Housing (as amended) and the Council's adopted Supplementary Planning Document HDAS: Residential Layouts.

**2 NON2 Non Standard reason for refusal**

The proposed building, by reason of the incorporation of a large crown roof and the siting, size, scale, bulk and roof design of the large two storey projecting rear wing, would appear as a bulky, incongruous and awkward addition to the street scene and surrounding area, detrimental to its character and appearance. As such, the proposal is contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's adopted Supplementary Planning Document HDAS: Residential Layouts.

**3 NON2 Non Standard reason for refusal**

The proposal, by reason of the extent and duration of overshadowing to the proposed amenity area, would fail to be sufficiently usable in order to afford an adequate standard of residential amenity to the occupiers of the proposed flats. The proposal is therefore contrary to Policy BE23 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's adopted Supplementary Planning Document HDAS: Residential Layouts.

**4 NON2 Non Standard reason for refusal**

In the absence of consistent tree information, the Local Planning Authority has been unable to fully assess the impact of the development upon existing trees on and close to the site. The proposal therefore fails to accord with Policy BE38 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5 NON2 Non Standard reason for refusal**

The proposal would result in unsatisfactory parking, access and cycle storage arrangements, which would be likely to give rise to additional on-street parking and pedestrian and vehicle conflict, prejudicial to conditions of highway safety. The proposal is therefore contrary to Policies AM7 and AM9 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

**6 NON2 Non Standard reason for refusal**

The development is estimated to give rise to a significant number of children of school age and additional provision would need to be made in the locality due to the shortfall of places in schools serving the area. Given that a legal agreement at this stage has not been offered or secured, the proposal is considered to be contrary to Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and the adopted London Borough of Hillingdon Planning Obligations Supplementary Planning Document (July 2008).

## INFORMATIVES

### 1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### 2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H4	Mix of housing units
H3	Loss and replacement of residential accommodation
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
PPS3	Housing
LPP	London Plan (February 2008)
LP	London Plan Interim Housing Supplementary Planning Guidance
SPD	Planning Obligations Supplementary Planning Document, July 2008
HDAS	Residential Layouts July 2006 Accessible Hillingdon, January 2010.

## 3. **CONSIDERATIONS**

### **3.1 Site and Locality**

The application site comprises a large detached two storey double fronted property with a two storey side extension on a substantial plot, located on the eastern side of Sunningdale Avenue, some 80m to the south of its junction with Field End Road and almost opposite its junction with Newnham Avenue. The site has a 21m wide frontage, more than twice the typical plot width in the road and is approximately 47.5m deep. The property was previously used as a care home, but is now vacant with the building falling into disrepair and in an unsafe condition, with hoarding having been erected around the site.

The site lies within an established residential area on the edge of the Eastcote Town Centre, the southern boundary of which lies within approximately 50m of the rear boundary of the site. Although the surrounding area is predominantly residential, there are three storey commercial buildings at the end of the road fronting Field End Road and Newnham Infant and Junior School is located some 50m to the south of the site. The site forms part of the 'developed area' as identified in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **3.2 Proposed Scheme**

Planning permission is sought for the erection of a detached two storey block with habitable roof space containing 8 two-bedroom flats (Class C3) with associated car parking and landscaping works to replace the existing two storey residential care home (Class C2) on site.

The proposed building would be 17.3m wide, having an overall depth of 15.9m, with a large crown roof, 5.7m high to eaves level and 9.8m to the ridge of the crown roof. The building would be double fronted with gable roof bays, incorporating recessed terraces within the gable roof and two dormers on the front elevation and a large projecting two storey central wing on the rear elevation. Four dormers in total are proposed on the rear elevation, two dormers on the main elevation of the building and two within the hipped roof of the projecting wing. Three rooflights are proposed in each of the side elevations.

The building would be set back from the side boundary adjoining No. 8a Sunningdale Avenue by 1m and by 3.3m adjoining No.6. On this side would be the driveway leading to 8 car parking spaces and a cycle store sited at the end of the rear garden. A disabled person parking bay would be sited in the front garden. The remainder of the rear garden would provide shared amenity space with small private patio areas provided for the ground floor units.

Three two-bedroom flats would be provided on the ground and first floors, with the roof area providing the remaining 2 two-bedroom flats.

A number of documents have been produced in support of the application, namely a Design and Access Statement, an Energy and Sustainability Statement and an Arboricultural Survey. Where necessary, these are discussed at the relevant sections of the report.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

None

### **4. Planning Policies and Standards**

## UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

### Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

### Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE8 Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
- H4 Mix of housing units
- H3 Loss and replacement of residential accommodation
- R17 Use of planning obligations to supplement the provision of recreation, leisure and community facilities
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- AM14 New development and car parking standards.
- PPS3 Housing
- LPP London Plan (February 2008)
  
- LP London Plan Interim Housing Supplementary Planning Guidance
- SPD Planning Obligations Supplementary Planning Document, July 2008
- HDAS Residential Layouts July 2006

Accessible Hillingdon, January 2010.

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **21st July 2010**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

18 neighbouring properties have been consulted and a site notice has been displayed. A petition with 21 signatories has been received, together with 9 individual responses. The petition states that:

'We the undersigned wish to be represented at the North Planning Committee Meeting, re. 19038/APP/2010/770. 8 Sunningdale Avenue, Eastcote, Ruislip. The proposal is over-development, out of keeping with the area, over-dominant, lacks private amenity space.'

The individual responses raise the following concerns:

- (i) Flatted development will be out of keeping with surrounding detached and semi-detached houses, and represents over-development of the site at 240 habitable rooms per hectare (hr/ha) contrary to the Hillingdon UDP that restricts densities to no more than 150 hr/ha;
- (ii) First floor and roof space flats have a balcony/French doors to the rear of the building which due to its height and/or position, will have greater potential to overlook adjoining properties and their gardens than the existing building;
- (iii) Proposed building much larger than existing house and being only 1m from side boundary will restrict light to side windows at No. 8a Sunningdale Avenue;
- (iv) With only a 1m gap at the side, the adjoining houses would appear very closed in and look out of place in the road;
- (v) Parking area for 8 cars will result in noise and disturbance from headlights to neighbouring properties, often late at night/early morning, reduce privacy and result in pollution and fumes, particularly on hot days to neighbouring properties;
- (vi) Rear parking arrangement would make adjoining rear gardens more exposed, threatening security and higher risk of burglary and vandalism;
- (vii) Rear parking area does not have enough manoeuvring space;
- (viii) Area currently has permit parking to keep congestion down. Parking is already a major issue with insufficient spaces for those that live in the street, particularly at school arrival and departure times due to the proximity of Newnham School. Visitor parking and occupiers of the flats having more than 1 car will escalate parking issues again;
- (ix) New drive will be directly opposite junction with Newnham Avenue and Newnham School. Parents and children use this area to cross on a regular basis and proposal with will make this more dangerous;
- (x) The existing trees should be retained as they provide essential screening and are essential part of the garden. An ash tree at the end of the garden, which is proposed to be kept requires severe pruning;
- (xi) Residential care home caused blockages to drainage and sewage systems when operational. 8 flats would make this worse;
- (xii) What provision will be made for fencing between proposed and existing properties?
- (xiii) Demolition and construction work will result in conflict with existing traffic, particularly that generated by the school, and generate noise and dust;
- (xiv) Compensation required for inconvenience and possible decrease in property values;

- (xv) Will some of the flats have to be given to those in housing need?
- (xvi) Proposal contrary to government's policy on garden grabbing and will cause harm to the local environment;
- (xvii) Proposal for flats, if approved, will establish precedent;
- (xviii) Plans are inaccurate as regards properties in Woodlands Avenue and position of trees and shrubs and plans too sketchy and do not appear to be to scale;
- (xix) Amenity space is too small for the flats and first floor flats do not have any amenity space;
- (xx) Given experience on organising petition, this is a very unpopular proposal with the neighbourhood on many levels.

Ward Councillor: Requests that this application be presented to committee.

Eastcote Residents' Association:

Original Comments:

This does not appear to be a satisfactory development. This area is predominately semi-detached family homes, a flatted development will appear out of keeping with the area.

The proposed building is situated (according to the drawings) one metre from the boundary with No. 8a. However, there is not a one metre gap for the whole length of the building. Given the size and bulk of the building this will give a closed in effect to the street scene.

The bin and recycling store is situated in the front garden. Having bins in front gardens is not a feature of this area, therefore this will be detrimental to the street scene.

Bedroom 2 in flats 1-6 does appear to be too small to hold more than a single bed, if it is even possible to accommodate a single bed in these rooms.

Overall the size of the flats does appear very small, it is not possible to scale up from the drawings taken from the web site, so please can dimensions be checked very carefully by the planning officer.

The flats on the 1st floor do not have any private amenity space.

The ground floor drawing states that the staircase can take a chair lift. This is not a satisfactory arrangement for other flat dwellers. These being two bedroom flats, it is assumed that they are family homes, therefore at times pushchairs and prams will need access to the stairways, and this will not be possible with a stair lift in situ.

The density of 80 units per hectare is high, and not in keeping with the surrounding area, which is suburban.

We ask that this application be refused in the present form.

Further Comments:

With the changes to PPS3, this application can now be considered as un-acceptable, not only does the proposed building take a sizable amount of the garden, the rear half of the garden is to be a parking lot. Loss of gardens is no longer acceptable.

The proposed density of 80 dwellings per hectare, is also unacceptable.

Therefore, this proposed development does not conform with the current PPS3. In view of these

changes, can this development be immediately refused.

### **Internal Consultees**

Landscape Officer:

#### **THE SITE**

The site is occupied by a large detached house within an established garden setting. There is no TPO or Conservation Area designation protecting the trees on or close to the site. The submission includes a Tree Survey which assesses quality and value of the trees on site and includes an implications assessment for the feasibility of retaining trees as part of the development. In summary (5.8) the report notes that there are no 'A' grade trees (good quality and value which should be retained as part of a development proposal), 2No. 'B' grade (fair, whose retention is desirable), 6No. 'C' (poor, not normally considered to be a constraint on development, but may be worthy of retention) and 6No. 'R' grade (justifying removal on the grounds of sound management/short life expectancy).

#### **THE PROPOSAL**

The proposal to demolish the existing building and build a new detached block of flats includes the provision of a new access road, parking and amenity space. According to the Design & Access Statement (3.4, 3.5) selected trees will be retained in order to provide some instant screening (and landscape maturity) particularly on the north and south boundaries. However, the D&AS and plans was prepared in advance of the tree survey, and the layout drawing No. 1 Rev A has not taken into account the recommendations of the tree consultant, with the result that trees earmarked for retention are dead and trees recommended for retention are shown to be removed.

#### **RECOMMENDATION**

The information submitted is inconsistent. Information provided in the D&AS and layout plan should reflect the recommendations of the tree survey, prior to further consideration.

Highway Engineer:

There are two existing vehicular accesses serving the application site. The south-eastern access would need to be stopped up and the crossover reinstated, and the north-western access is shown to be widened by 2.2m. This crossover extends further to serve property no. 6. The proposed widening of the crossover would result in an undesirably long crossover. It would appear that the marked parking bay and yellow line marking fronting the site would need to be amended due to the proposals but no details have been provided of the same.

The width of access road leading to the rear car parking area would be approximately 3m, which is not adequate for two cars to pass each other and is likely to result in car waiting and/or reversing onto the highway, leading to conditions prejudicial to highway safety.

No pedestrian path is being proposed within the narrow access road.

The site is opposite to the junction of Sunningdale Avenue and Newham Road, and is located close to Newham Junior and Infant School. The drawing shows a 1.2m fence between the site and no.6 within the pedestrian visibility splays, which affects pedestrian visibility. Trip generation information has not been provided to evaluate if the development would result in intensification in use of the access.

The Council's minimum cycle parking standards stipulate a requirement of 8 cycle storage spaces for this development. The proposed cycle storage would not be suitable for 8 cycle spaces.

Turning circles for parking spaces 8 & 9 are unsatisfactory as they would involve several back and

forth movements.

Consequently, the application is not acceptable from the highways point of view and is recommended to be refused, as it is contrary to the Council's policies AM7 & AM9.

Access Officer:

The proposed development should comply with the Lifetime Home Standards and the following observations are provided:

1. The communal entrance door appears to be stepped and would be contrary to the above policy requirements if that were the case. Details of internal and external levels should be submitted to confirm that level or gently sloping access will be achieved.
2. In line with the Council's above-mentioned SPD, at least one communal lift should be provided to serve the units above ground floor level.
3. All internal doorways, including the proposed wet room doors, must provide a minimum clear opening width of 750 mm.

Recommendation: Revised plans should be requested and received prior to any grant of planning permission.

Waste Services:

#### 1) Flats

a) I would recommend the use of 1,100 litre bulk bins to safely and hygienically contain the residual waste, as proposed. The number of 1,100 eurobins required is:

8 two-bedroom flats: 1,360 litres (170 litres per flat). Total = 1,360 litres.

This could be safely and hygienically contained by 1 x 1,100 litre Eurobin with the following dimensions:

1,370mm (height) x 990mm (depth) x 1,260mm (width)

The residents could be included in the dry recycling sack collections to divert part of their waste. Alternately the space for the second 1,100 litre bin could be used for a recycling eurobin.

b) The dimensions of the bin compound should ensure there is at least 150mm clearance in between the bins and the walls of the chamber, based on the size of bin above. The height of the chambers should be at least 2 metres, to allow the lids of the bulk bins to be fully opened.

c) The floor of the bin compound should have a surface that is smooth and that can be washed down. The material used for the floor should be 100mm thick to withstand the weight of the bins. Ideally the walls of the chamber should be made of a material that has a fire resistance of one hour when tested in accordance with BS 472-61.

d) The bin chamber doors/gates needs to be made of either metal, hardwood, or metal clad softwood and ideally have fire resistance of 30 minutes when tested to BS 476-22. The door frame should be rebated into the opening. Again the doorway should allow clearance of 150mm either side of the bin when it is being moved for collection. The door(s) should have a latch or other mechanism to hold them open when the bins are being moved in and out of the chamber.

g) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard).

h) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the chamber is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.

i) The value of the construction project is likely to be in excess of £300,000. If so the Site Waste Management Plans Regulations 2008 apply. This requires a document to be produced which explains how waste arising from the building works will be reused, recycled or otherwise handled. This document needs to be prepared before the building work begins.

j) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

Education:

An education contribution of £18,061 is required (£7,217 for Primary, £7,029 for Secondary and £3,815 for Post-16).

Crime Prevention Officer (verbal comments):

Developers need to make contact for advice to ensure that the scheme can achieve Secure by Design standards. Appropriate lockable gates across the proposed driveway would ensure that the proposal would not generate any additional potential for crime and anti-social behaviour at the rear.

Revised details of the provision to be made for bin storage in the front garden would also need to be sought to ensure that natural surveillance of the front entrance to the new flats was not obscured.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The site is located within the 'developed area' as identified in the saved Hillingdon Unitary Development Plan. In order for areas not to incur an over-concentration of flatted development, which may compromise the traditional residential character of the road, paragraph 3.3 of the Council's Supplementary Planning Document (SPD) HDAS: Residential Layouts advises that it is unlikely that proposals will be acceptable where more than 10% of the houses in a street have been converted or redeveloped to provide flats or other forms of housing. In this instance, all the other houses in the road provide single family accommodation and this site is already in a more intensive residential use as a care home. There is therefore no objection in principle to the development of flats on this site.

Although the proposed building would replace and only marginally extend beyond the rear elevation of the existing care home on site, a large part of the rear garden would be given over to car parking. Additional guidance on development in rear gardens and the interpretation of related policies has recently been published and is an important material consideration in assessing the principle of developments such as this.

Key changes in the policy context, since the adoption of the UDP Saved Policies, includes the adoption of The London Plan (consolidated with alterations since 2004), the Letter to Chief Planning Officers: Development on Garden Land dated 19/01/2010, The London Plan Interim Housing Supplementary Planning Guidance April 2010, and new Planning Policy Statement (PPS) 3: Housing adopted June 2010.

In relation to National Policy, the Letter to Chief Planning Officers clarifies that "there is no presumption that previously developed land is necessarily suitable for housing, nor that all of the curtilage should be developed" and commits to move this clarification to a more prominent position within the PPS. It further clarifies that "the main focus of the Government's position therefore is that local authorities are best placed to develop policies and take decisions on the most suitable locations for housing and they can, if appropriate, resist development on existing gardens". This guidance was published prior to submission of the application and should be given appropriate weight in the assessment of the application.

The London Plan Interim Housing Supplementary Planning Guidance (April 2010) was published following the national advice above and represents the Mayor of London's guidance on how applications for development on garden land should be treated within the London Region. The thrust of the guidance is that back gardens contribute to the objectives of a significant number of London Plan policies and these matters should be taken into account when considering the principle of such developments.

The guidance requires that "In implementing London Plan housing policies and especially Policy 3A.3, the Mayor will, and Boroughs and other partners are advised when considering development proposals which entail the loss of garden land, to take full account of the contribution of gardens to achievement of London Plan policies on:

- \* local context and character including the historic and built environment;
  - \* safe, secure and sustainable environments;
  - \* bio-diversity;
  - \* trees;
  - \* green corridors and networks;
  - \* flood risk;
  - \* climate change including the heat island effect, and
  - \* enhancing the distinct character of suburban London,
- and carefully balance these policy objectives against the generally limited contribution such developments can make toward achieving housing targets."

(The various issues are discussed in more detail within the relevant sections of the report.)

Following on from this, Policy 4B.8 emphasises the importance of local distinctiveness, and ensuring proposed developments preserve or enhance local social, physical, cultural, historical, environmental and economic characteristics.

Notably, revised Planning Policy Statement 3: Housing, was published in April 2010 and, as advised in the Letter to Chief Planning Officers, discussed above, clearly clarifies that not all developed land is necessarily suitable for housing, nor that all of the curtilage should be developed. It also makes it clear that well thought out design and layout which integrates with and complements existing buildings and the surrounding local context is a key consideration which needs to be taken into account when assessing proposals for residential development.

Therefore, revised Planning Policy Statement 3 and the London Plan Interim Housing supplementary Planning Guidance do not introduce additional policy considerations but rather provide greater clarity on the interpretation of existing policy guidance. Whilst there is in general no objection to the principle of an intensification/greater use being made of existing residential sites it is considered that the shifting policy emphasis requires all new proposals for development to be carefully scrutinised.

It is also noted that the Council's Development Plan Annual Monitoring Report 2008/2009 shows that the Council is achieving its housing targets from sites elsewhere in the borough.

#### **7.02 Density of the proposed development**

Policy 3A.3 of the London Plan (February 2008) advises that Boroughs should ensure that development proposals achieve the maximum intensity of use compatible with the local context, design principles and public transport accessibility. At Table 3A.2, the London Plan establishes a density matrix to establish a strategic framework for appropriate densities at different locations.

The site is located within a suburban context and has a Public Transport Accessibility Level (PTAL) of 3. Taking these parameters into account, the matrix recommends a density of 35-65 u/ha and 150-250 hr/ha. This proposal, equates to a density of 80 u/ha and 320 hr/ha (counting habitable rooms over 20sqm and capable of subdivision as 2 rooms). The proposed density exceeds that recommended by the London Plan.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application.

#### **7.04 Airport safeguarding**

Not applicable to this application.

#### **7.05 Impact on the green belt**

Not applicable to this application.

#### **7.06 Environmental Impact**

Not applicable to this application.

#### **7.07 Impact on the character & appearance of the area**

The proposed building would have a similar front building line to adjoining properties on this side of Sunningdale Avenue so that it would not appear unduly prominent in the street scene. Although the building would occupy the majority of the width of the plot which is double the size of typical residential plot widths in the road, the building would maintain 1m and 3.3m gaps to the side boundaries and the building is of a comparable scale to the existing double fronted extended building on site that it would replace. Furthermore, although the building would project beyond the main two storey rear elevation of neighbouring residential properties, the main rear elevation would have a similar depth to the extended ground floors of neighbouring properties so that the increased depth on this large plot would not appear so out of keeping with the surrounding area.

Of more concern in terms of the siting and layout of the proposal is the rear car parking area and the side driveway. A number of residential properties do have garages which extend into the rear garden, but these tend to be of a domestic scale and sited reasonably close to the houses they serve. There is car parking at the rear of the office blocks at the end of Sunningdale and Woodlands Avenue, there is a narrow drive at the adjoining property, No.6 which extends the full depth of the garden and there are a couple of properties to the north-west, in Woodlands Avenue (Nos. 169/169A and 173/173A) that provide flatted accommodation with a rear garage court in their respective rear gardens. However, the adjoining drive is narrow and of a domestic scale with the majority of the rear garden at this property having been retained, whereas the office blocks are an extension of the Eastcote Town Centre immediately to the north and read as such. The garage courts in Woodlands Avenue are also closer and adjacent to the town centre boundary. By contrast, this proposal is within an established residential area, surrounded by mature residential gardens. The proposed rear car parking area and driveway would result in an extensive area of hardstanding and vehicle movement along the whole depth of the rear garden that would be out of keeping with the surrounding pattern and layout of

residential development, removing over half the rear garden area of this double width plot. When balanced against the limited contribution the development would make toward achieving housing targets in the borough it is considered that the principle of the proposed residential development is contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 3A.3, 4B.1 and 4B.8 of the London Plan, guidance within The London Plan Interim Housing Supplementary Planning Guidance and Planning Policy Statement 3: Housing (as amended) and paragraph 4.36 of the Council's SPD HDAS: Residential Layouts.

Turning to the design of the proposed building, the overall height of the building would be approximately 0.8m lower than the existing building on site so that the proposal would better respect the ridge heights of surrounding residential properties. The width of the proposal would also be similar to the existing building. The proposed building would however comprise a large crown roof with an extensive area of flat roof. Such roofs are not characteristic within this residential area and the building would have a significantly greater overall bulk than the existing care home and neighbouring properties. The two storey rear projection with a smaller crown roof also appears unduly bulky and awkward, occupying most of the central width of the rear elevation and is ill-conceived. It is therefore considered that the building would appear out of place and unduly dominate, detrimental to the visual amenities of the street scene and character and appearance of the area.

Projecting gable bays are characteristic within the road and no objections are raised to the double fronted gable roof bays proposed, including the recessed glazing and terraces proposed at roof level, which will be contained within the volume of the gables. The proposed front and rear gables are also sufficiently small scale so as not to appear unduly dominant within the roof and given the prevalence of front gables, they would not appear out of keeping in the street scene. The fenestration on the building would also harmonise with surrounding properties.

#### **7.08 Impact on neighbours**

Both adjoining properties, Nos. 6 and 8a Sunningdale Avenue have been extended at the rear at ground floor level. The main rear elevation of the proposed building would project approximately 1.5m beyond the extended ground floor at No.6a, but as it would be separated by approximately 6m (3.3m from its side boundary) the proposed building would not appear unduly dominant from this property. The main rear elevation of the proposed building would not project beyond the extended ground floor elevation at No. 8a Sunningdale Avenue. Although the proposed building would have a centrally sited wing that would project a further 2m into the rear garden, this is set off the side elevations of the building by 3m so that it would be further removed from neighbouring boundaries so as not to adversely affect their amenities. Furthermore, the proposed building would not project beyond a 45° line of sight taken from neighbouring habitable room first floor windows, the nearest first floor rear facing window is at No. 8a, and this serves a bathroom. These properties also do not contain any main habitable room windows in their side elevations facing the application site.

As regards loss of light, a sun on the ground diagram shows that only the side part of the rear garden of No.6 would be overshadowed in the early morning, but given that the existing building is sited immediately on the side boundary, this represents an improvement upon the existing situation. As regards No.8a, the proposal would result in additional overshadowing of the rear garden during the afternoon, but this is limited in extent and as the rear elevations of these properties have a north west facing aspect they are already in shadow for the most of the day, with the only additional overshadowing to No.8a occurring at the end of the day, from 4.00pm onwards. No.8a does have two

ground floor windows in its side elevation that would experience greater overshadowing, but as one is secondary window serving a dining area and the other serves a small kitchen, they do not serve habitable rooms and such windows already have very limited outlook and natural lighting, being approximately 1m from the side boundary.

In terms of the potential for overlooking, all the proposed side windows and rooflights are either secondary or would serve non-habitable rooms and therefore could be conditioned to be obscure glazed and non-opening, if the application were being recommended differently. The properties at the rear of the site in Woodlands Avenue would be approximately 50m from the rear elevation of the proposal, greatly in excess of the Council's recommended 21m separation distance as being adequate to safeguard privacy and screened by mature trees.

As such, it is considered that the proposal would comply with Policies BE20, BE21 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

As regards the proposed car parking arrangements, the proposed driveway would abut an existing driveway at No.6 that runs the full length of its rear garden. The parking area at the end of the rear garden would be sited over 16m from the neighbouring properties on Sunningdale Avenue and in excess of 20m and screened by mature trees from the adjoining residential properties in Woodlands Avenue. In such circumstances, it is unlikely that the use of the car parking area would give rise to additional noise, fumes, pollution and general disturbance of such magnitude that could not be adequately mitigated by appropriate fencing on the site boundaries. This could have been dealt with by condition if the application had been recommended favourably. As such, it is considered that the proposal complies with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7.09 Living conditions for future occupiers**

The Council's HDAS Residential Layouts advises that for new residential units to afford an adequate standard of residential accommodation, two-bedroom flats should have a minimum internal floor area of 63m<sup>2</sup>. The two-bedroom flats on the ground and first floors would have floor areas of 65m<sup>2</sup> and 68m<sup>2</sup> and the two flats in the roof space would have floor areas of 77m<sup>2</sup>. Furthermore, it is considered that all the proposed habitable rooms would have an adequate outlook.

Guidance also stipulates that with flatted developments sharing amenity space, at least 25m<sup>2</sup> of amenity space should be provided per two-bedroom unit and the space should be usable. In this instance, approximately 180m<sup>2</sup> of shared amenity space would be provided within the rear garden. In addition to this, two of the ground floor units would have 6m<sup>2</sup> private patio areas, with the third ground floor unit an 8m<sup>2</sup> private patio area at the rear and the flats within the roof space would have 4.5m<sup>2</sup> enclosed terrace areas at the front. Deducting these areas from the total required, the scheme would provide the overall quantum of space required to satisfy minimum standards, but being sited immediately to the north of the building, a substantial area of this space would be in shadow for large parts of the day. As such, the space is not sufficiently usable to satisfy standards.

The 2m deep patio areas, surrounded by landscaping, would provide defensible space for the occupiers of the ground floor units, so that they would not be unacceptably overlooked by other users of the shared amenity space. The only exception to this are the bedroom windows to Flat 2 which only have a thin landscaping strip in front of them, but this is a relatively minor point that could be dealt with by condition if the scheme had otherwise been found to be acceptable.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposal would provide a total of 9 car parking spaces, including a disabled space, for the 8 two-bedroom flats. The Council's Highway Engineer does not raise objection to this level of provision, given the site's proximity to Eastcote Town Centre and its relatively good public transport accessibility, with a PTAL score of 3.

However, the Highway Engineer does raise concern with the proposed parking, access and cycle parking arrangements. The width of the proposed crossover, together with that of the adjoining crossover at No.6 would be undesirably long and create the potential for vehicular and pedestrian conflict. The width of the driveway leading to the rear car parking area at 3m is also not adequate to allow two cars to pass and therefore, the likely result would be for cars to wait and/or having to reverse onto the highway. Two of the bays also have unsatisfactory turning circles. The lack of a pedestrian path on the driveway is also a concern, as are the adequacy of the visibility splays at the entrance, given that no trip information has been submitted to clarify whether its use would intensify with this proposal. The cycle storage provision is also inadequate for 8 cycles.

The overall impact would be the likelihood of additional on-street parking and pedestrian and vehicle conflict which would be prejudicial to conditions of highway safety. The proposal is therefore contrary to Policies AM7 and AM9 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7.11 Urban design, access and security**

The Council's Crime Prevention Officer advises that subject to suitable gates across the proposed driveway, the proposal would not present any additional potential for crime and anti-social behaviour. Revised details of the provision to be made for bin storage in the front garden would also need to be sought to ensure that natural surveillance of the front door to the new flats was not obstructed.

#### **7.12 Disabled access**

The Council's Access Officer does not raise objection to the scheme, advising on detailed matters as regards compliance with Lifetime Homes standards. It is considered that the provision of a lift could not be justified as the scheme is for less than 10 units. If the proposal had not been recommended for refusal, ensuring compliance with Lifetime Homes standards could have been dealt with by way of a condition.

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

The Council's Trees and Landscape Officer advises that the tree information submitted with the application is inconsistent and contradictory. The Local Planning Authority has therefore been unable to assess the impact of the development upon existing trees, contrary to Policy BE38 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7.15 Sustainable waste management**

The proposal makes adequate provision for refuse/recycling storage. Revised details would have been sought by condition to ensure that the storage area did not obstruct the view of the building entrance if the application had not been recommended for refusal.

#### **7.16 Renewable energy / Sustainability**

The proposal does ensure that all the habitable rooms would be well served by natural daylight. The Energy and Sustainability Statement states that where possible, internal bathrooms and landings will be lit by 'sun-tubes'. The plans show solar panels in the flat roof area of the crown roof and the statement says that either solar panels or photo-voltaic

cells will be used to ensure that the development satisfies Level 3 of the Code for Sustainable Homes. An appropriate renewable energy scheme to accord with the London Plan would have been conditioned if the application had not been recommended for refusal.

#### **7.17 Flooding or Drainage Issues**

This application does not fall within a flood risk area and a sustainable urban drainage system would have been sought by condition, had the application been recommended favourably.

#### **7.18 Noise or Air Quality Issues**

This application for residential development within a residential area does not raise any specific noise or air quality issues. The localised impact of the use of the driveway upon the amenities of adjoining residential occupiers has been dealt with in Section 7.08 above.

#### **7.19 Comments on Public Consultations**

The relevant planning matters raised by the petitioners and within the individual responses have been dealt with in the main report.

#### **7.20 Planning Obligations**

Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) is concerned with securing planning obligations to supplement the provision recreation open space, facilities to support arts, cultural and entertainment activities, and other community, social and education facilities through planning obligations in conjunction with other development proposals. These UDP policies are supported by more specific supplementary planning guidance.

Education Services advise that this scheme generates a need of a total contribution towards additional education space of £18,061 (Primary - £7,217, Secondary - £7,029 and £3,815 - Post 16). As the application is being recommended for refusal, no detailed negotiations have been entered into with the developer in respect of this contribution. As no legal agreement to address this issue has been offered, the proposal fails to comply with Policy R17 of the UDP Saved Policies (September 2007) and it is recommended the application should be refused on this basis.

#### **7.21 Expediency of enforcement action**

Not applicable to this application.

#### **7.22 Other Issues**

There are no other relevant planning issues.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is

unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

#### **9. Observations of the Director of Finance**

Not applicable to this application.

#### **10. CONCLUSION**

This proposal results in a density of development in excess of the Major's guidelines and the parking arrangements would be out of keeping with the surrounding character and pattern of development and involve the loss of a substantial part of the existing rear garden. The proposed building, with a large crown roof and awkward large rear two storey wing is also not considered to be in keeping with the area. Furthermore, much of the amenity space would be overshadowed for most of the morning and early afternoon, limiting its usability. Also, the tree information is contradictory and the parking access and cycle store provision is considered to be unsatisfactory, prejudicing highway safety. The application also does not make provision for an education contribution.

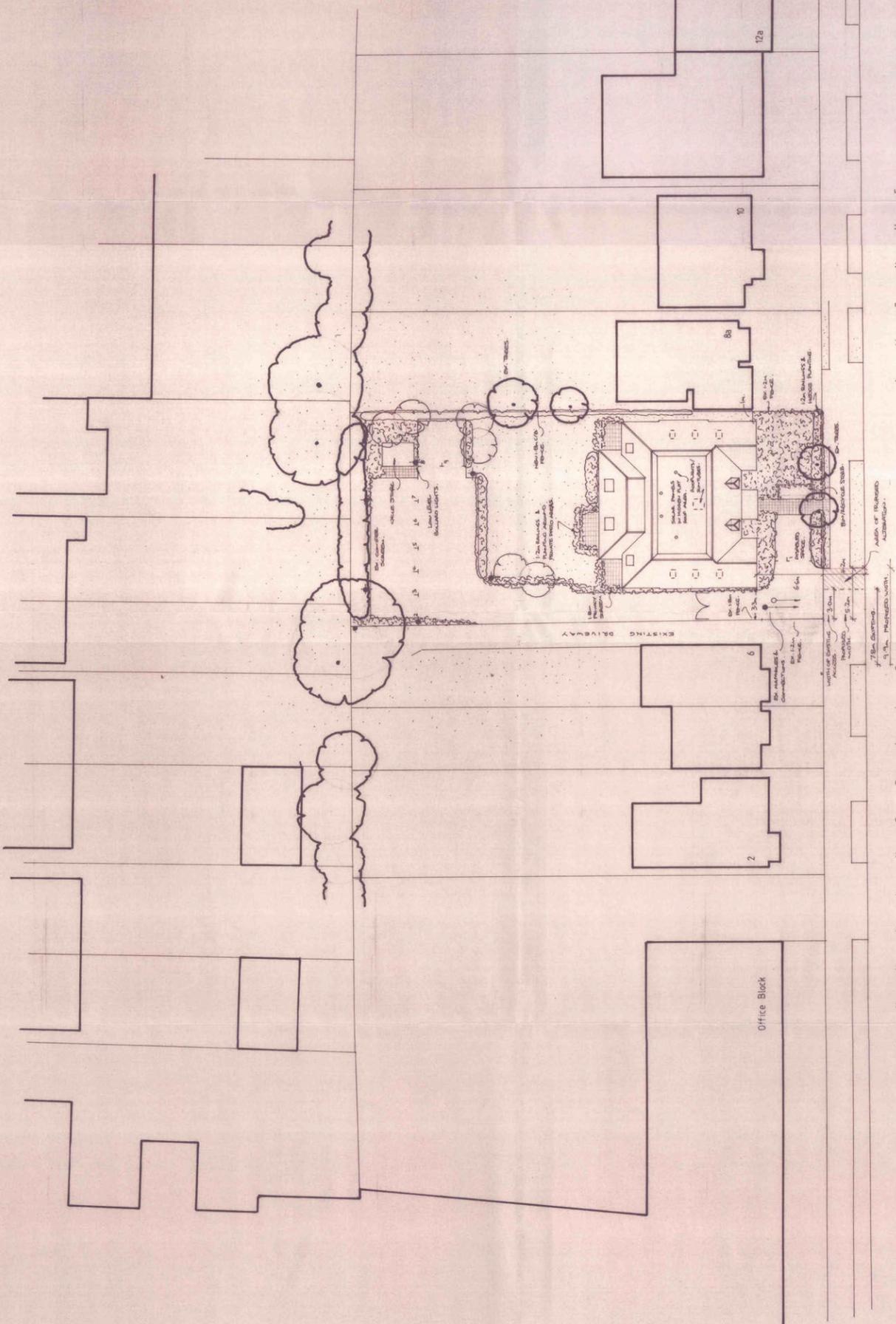
As the application has been appealed for non-determination, the Planning Inspectorate need to be informed that the application would have been determined accordingly.

#### **11. Reference Documents**

PPS3: Housing (as amended)  
London Plan (February 2008)  
Hillingdon Unitary Development Plan Saved Policies (September 2007)  
Mayor's Interim Housing Supplementary Planning Guidance, April 2010  
Council's HDAS: Residential Layouts (July 2006) & Accessible Hillingdon (January 2010)  
Council's Planning Obligations Supplementary Planning Document, July 2007  
Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



S U N N I N G D A L E A V E N U E

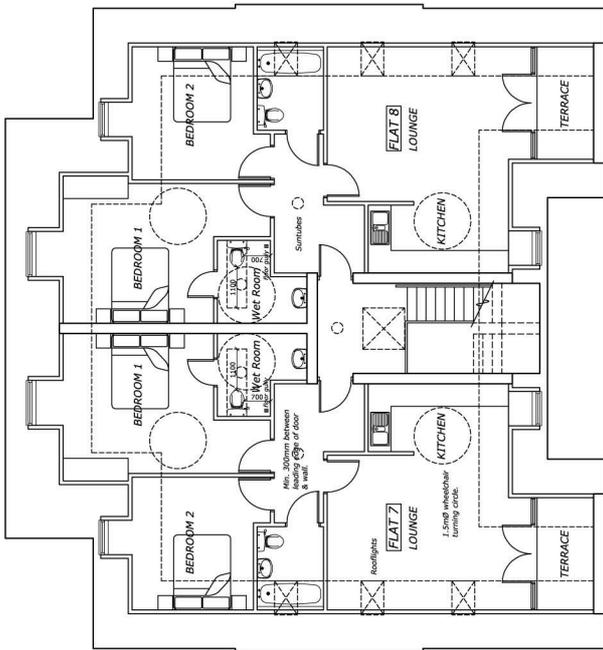
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**W J Macleod**  
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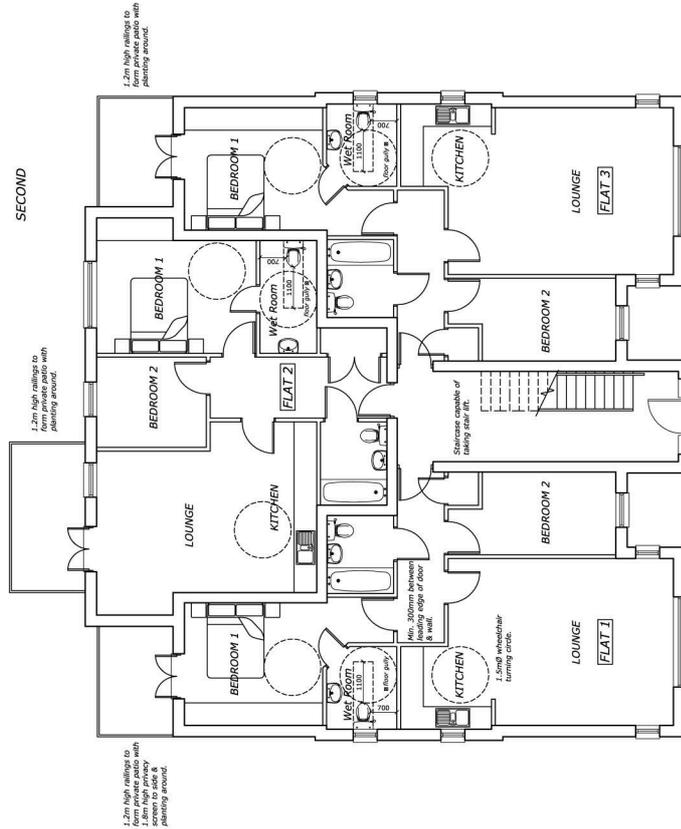
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Date	29 / 3 / 10	Drawn by	
Scale	1 : 200 / A1	Date Approved	E



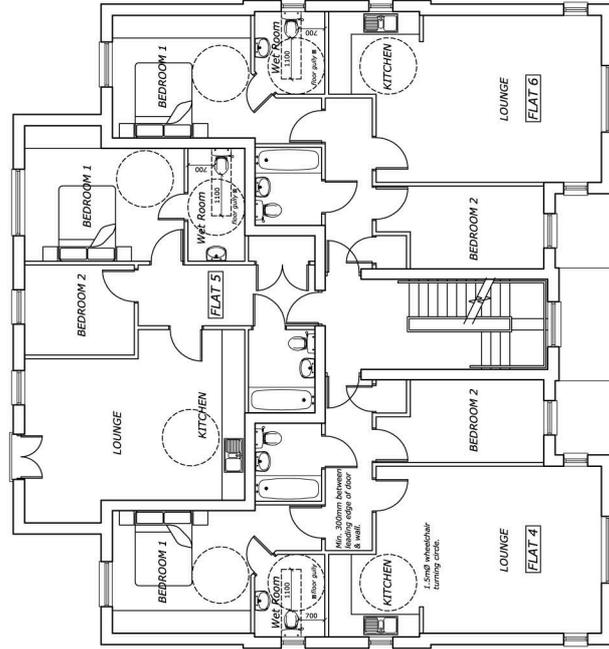




SECOND



GROUND



FIRST

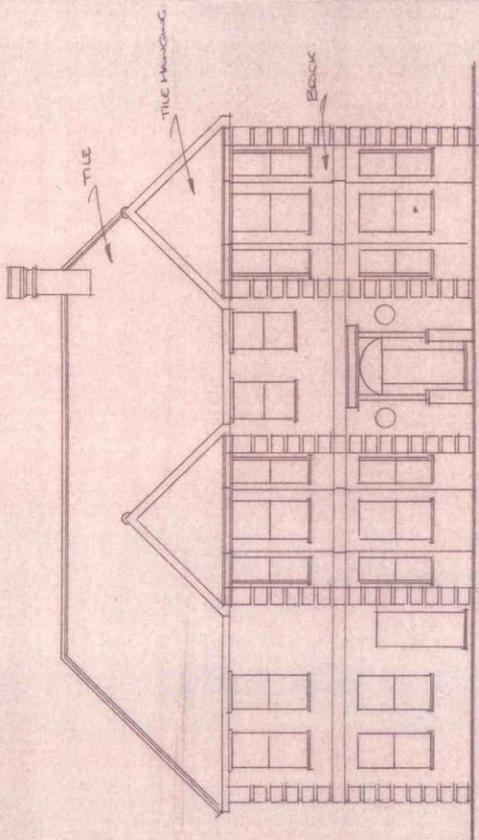


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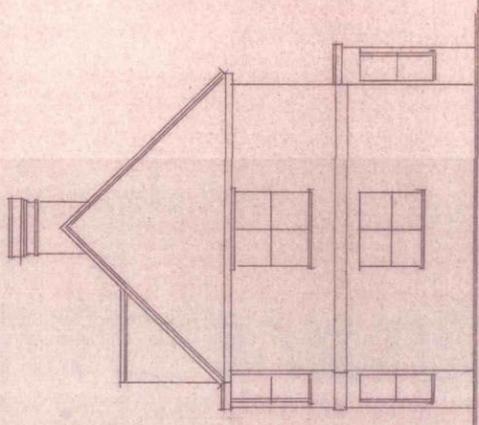
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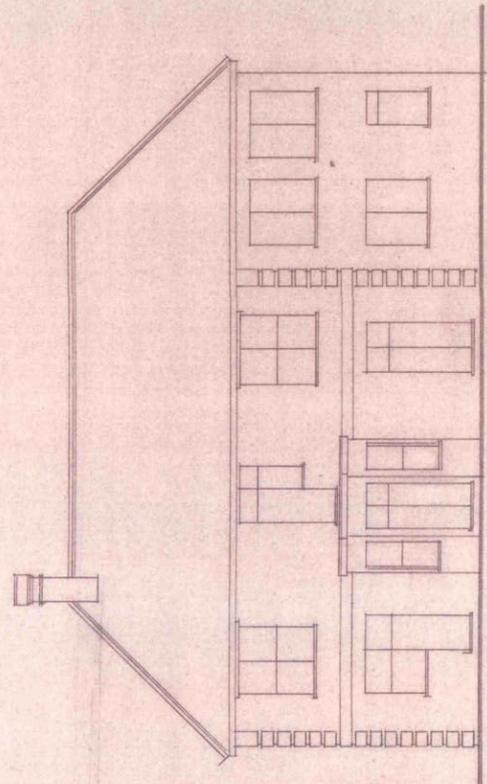
LAND AT 8 SUNNINGDALE AVENUE,  
 EASCOTE.



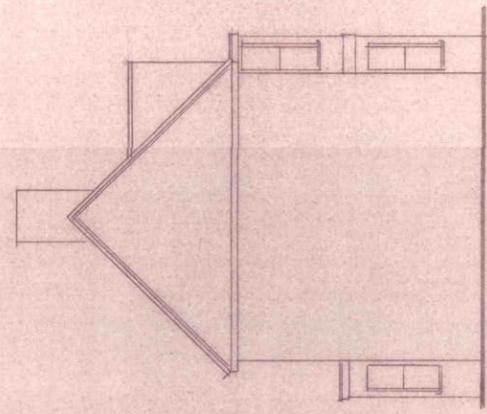
South East



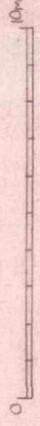
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North West



South West



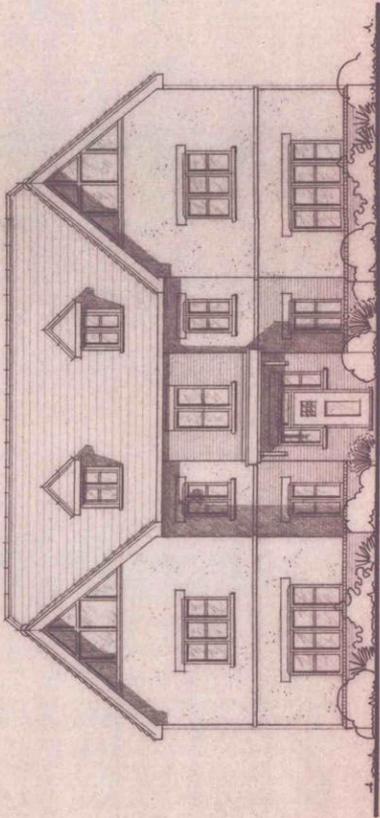
LAND AT 8 SUNNIGDALE AVENUE,  
EASTCOTE.

**W J Macleod**  
ARCHITECT

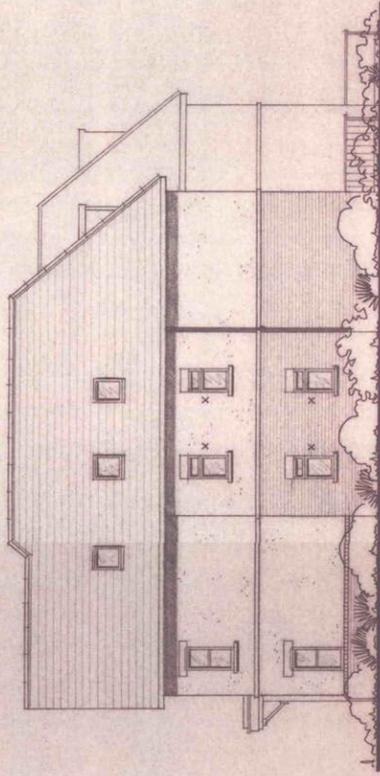
19/01/2010 - 10/07/2015

EXISTING ELEVATIONS

Project No.	10 / 2215 / 6
Date	28 / 4 / 10
Scale	1:100 / A2
Drawn by	E
Checked by	
Date	

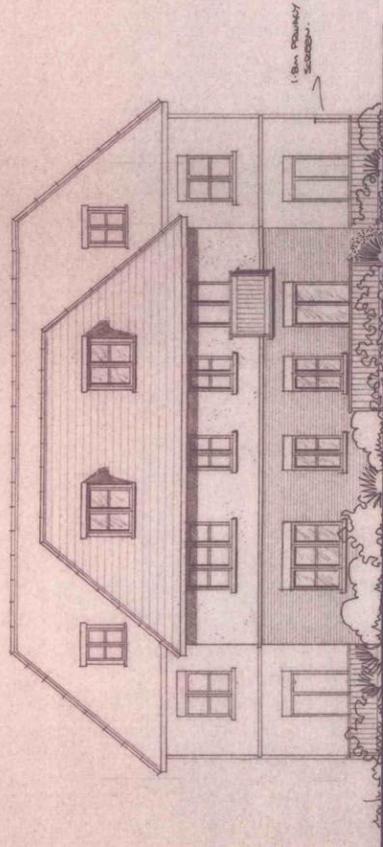


South East

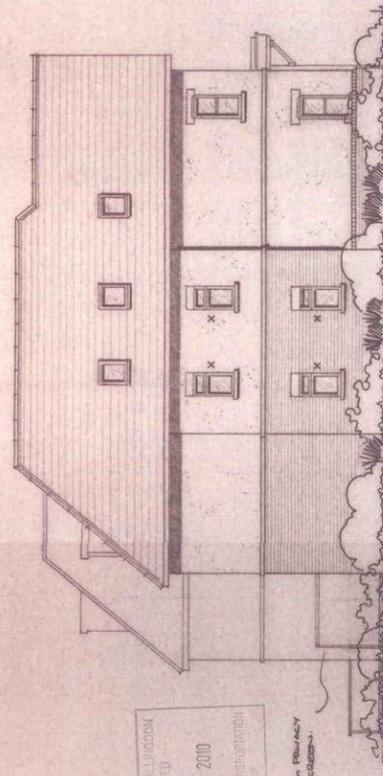


North East

X - OBSCURED, TOPPING CRACKS ONLY



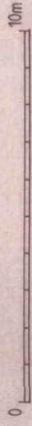
North West



South West

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 12 APR 2010  
 1:50 COUNTY SCHEMATIC

1:50 COUNTY SCHEMATIC



ELEVATIONS

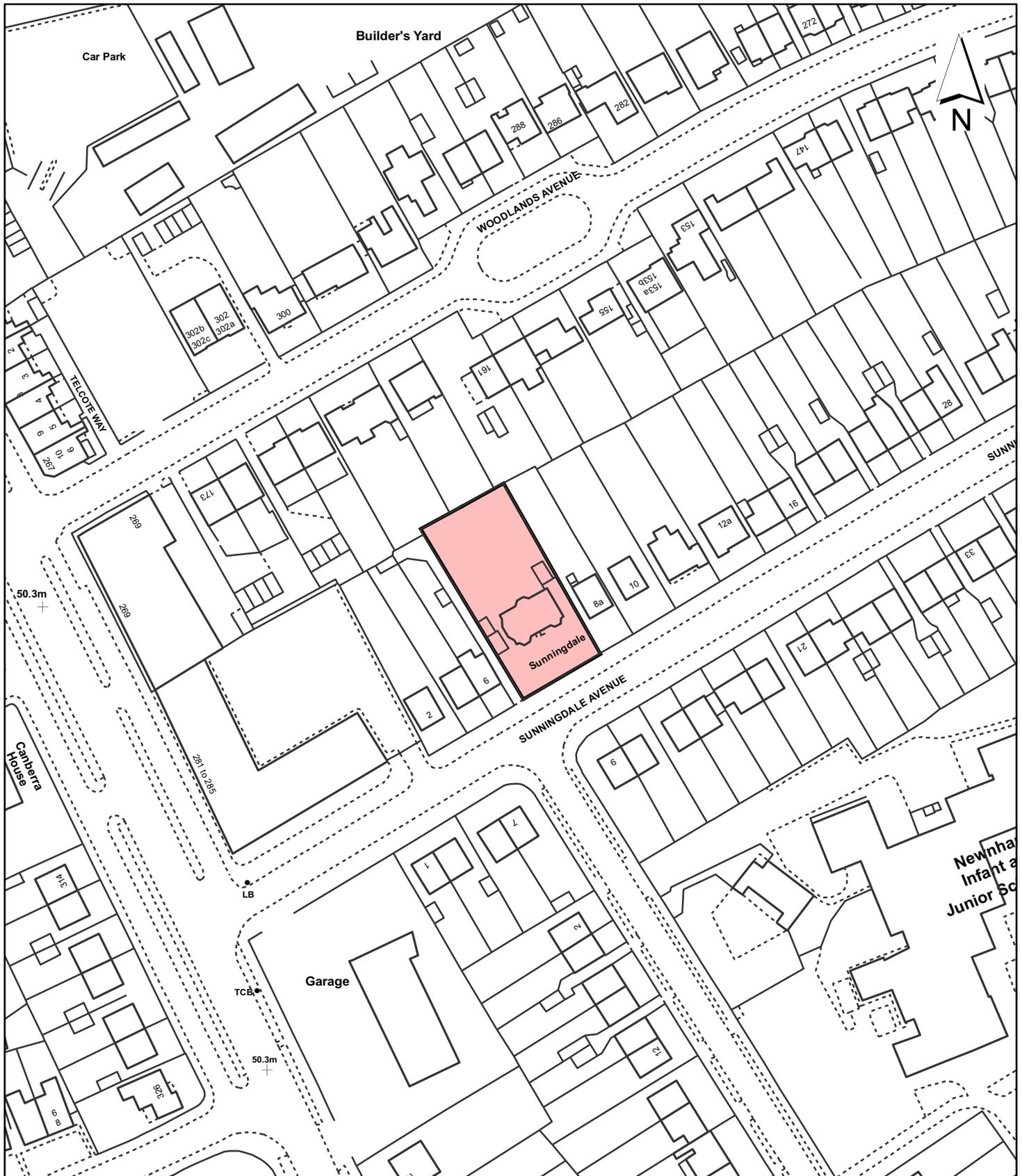
Project No.	10 / 3215 / 3	Phase	
Date	26 / 3 / 10	Drawn by	
Scale	1:100 / A2	Check by	
		Drawn by	E

**W J Macleod**  
 ARCHITECT  
75 High Street, Edinburgh, Scotland, UK. Phone: 0131 222 2222

LAND AT 8 SUNNIGDALE AVENUE,  
 EASTCOTE







**Notes**

 Site boundary

For identification purposes only.

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Site Address

**8 Sunningdale Avenue  
Ruislip**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**19038/APP/2010/770**

Scale  
**1:1,250**

Planning Committee  
**North** Page 165

Date  
**July 2010**



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** HAREFIELD HOSPITAL HILL END ROAD HAREFIELD

**Development:** Erection of 1 single storey temporary hospital building and clinical waste bin store, involving demolition of existing temporary office and clinical waste bin store.

**LBH Ref Nos:** 9011/APP/2010/1120

**Drawing Nos:** P10-001  
P10-004A  
P10-002  
P10-005  
P10-003  
P20-002  
P20-001  
P20-003  
P30-001  
Design and Access Statement  
Supporting Planning Statement  
Arboricultural Impact Assessment by GBA

**Date Plans Received:** 18/05/2010                      **Date(s) of Amendment(s):**

**Date Application Valid:** 10/06/2010

### 1. SUMMARY

Planning permission is sought to replace an existing temporary building with linking corridors, together with the removal and re-siting of a clinical bin store for a limited 2 year period.

The foot print of the proposed temporary building is larger than that of the existing building which it would replace, however it is considered to satisfactorily integrate with the existing building without causing material harm. It should also be noted that the proposed siting is amongst existing buildings which is not considered to result in an adverse impact on the wider area.

With regard to the clinical bin store this would be re-sited between two existing temporary buildings and therefore views of this development would be limited.

It is not considered the proposed development would result in any adverse impact on the Colne Valley Park or the Conservation Area. Furthermore, the development would not result in a disproportionate change or a material increase in the built up appearance of the site and as such it is considered to comply with the all the relevant policies contained in the UDP (Saved Policies September 2007) and the advice contained in PPG2: Green Belts.

Planning permission is sought for a limited 2 years period, as such, it is considered once this has elapsed these buildings can be removed and the land and buildings re-instated, as it is anticipated the development of permanent ward accommodation and other new facilities at Harefield hospital will have progressed.

## 2. **RECOMMENDATION**

### **APPROVAL subject to the following:**

#### **1 NONSC Limited time permission**

The buildings hereby permitted shall be removed and the land and the existing building restored to their former condition on or before 2 years from the date of this permission, in accordance with a scheme of work submitted to and approved in writing by the Local Planning Authority.

#### **REASON**

The proposed buildings are not acceptable as a permanent feature of the site, by reason of their design, size and location. The long term retention of these buildings would not make a positive contribution to the character and appearance of Harefield Village Conservation Area, or the Green Belt, and would therefore be contrary to Policies BE4 and OL4 of the Unitary Development Plan (Saved Policies September 2007).

#### **2 NONSC Restriction on use**

The buildings hereby approved shall be used for purposes solely in connection with the functioning of the Hospital and for no other purpose which is independent of and unrelated to the Hospitals activities.

#### **REASON**

To ensure that no occupier independent of the Hospital becomes established on the site and to comply with Policy PR20 of the Unitary Development Plan (Saved Policies September 2007).

#### **3 NONSC Strict accordance with plans**

The development hereby approved shall be carried out in strict accordance with the submitted application documents, except where expressly varied by other conditions of the consent

#### **REASON**

To maintain control over the development, which is located within the Green Belt and the Harefield Village Conservation Area to comply with Policies OL1, OL4 and BE4 of the Unitary Development Plan (Saved Policies September 2007).

#### **4 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show details of tree retention/removal.

#### **REASON**

To enable the Local Planning Authority to assess the amenity value of the existing trees and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **5 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction,

or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

### **6 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **7 TL21 Tree Protection, Building & Demolition Method Statement**

Prior to development commencing on site, a method statement, including a schedule of tree work to the oak in accordance with BS 3998, outlining the sequence of development on the site including demolition, building works and tree protection shall be submitted to and approved by the Local Planning Authority, and the scheme thereafter implemented in accordance with the approved method statement.

#### REASON

To ensure that trees can be satisfactorily retained on the site in accordance with Policy

BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

## **8 NONSC Non Standard Condition**

No development shall commence until details of accessibility measures to be incorporated into the design of the building have been submitted to, and approved in writing by the Local Planning Authority. The details shall include, but not be limited to:

1. The incorporation of WC provision for disabled people and at least one accessible unisex toilet is required and appropriate signposting of accessible toilet facilities.
2. Toilets should be designed in accordance with the guidance given in Approved Document M to the Buildings Regulations 2004.
4. Changing facilities designed in accordance with the guidance given in BS8300, including visual fire alarm activation devices.
5. Internal doors should be held open using fire alarm activated magnetic closers whilst the building is in use.
6. Alarm systems designed to allow deaf people to be aware of activation.

### **REASON**

To ensure appropriate levels of accessibility within the development in accordance with Polic R16 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 4B.1 and 4B.5 of the London Plan and the Hillingdon Design and Accessibility Statement - Accessible Hillingdon.

## **INFORMATIVES**

### **1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE8	Planning applications for alteration or extension of listed buildings
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements

OL3	OL3 Green Belt -
OL4	Green Belt - replacement or extension of buildings
OL9	Areas of Environmental Opportunity - condition and use of open land
OE12	Energy conservation and new development
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
PR20	Harefield Hospital
PPG2	Green Belts
PPS5	Planning for the Historic Environment

### **3            I1                    Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **4            I3                    Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

### **5            I6                    Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

### **6            I15                    Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

## **7            134                    Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

## **8**

You are advised that the Local Planning Authority consider that the long term retention of the temporary buildings hereby approved, due to their size, siting and design, would

compromise the setting of the existing Hospital buildings, detract from the Harefield Village Conservation Area and visual amenity of this major development site within the Green Belt. It is therefore possible that planning permission may not be renewed, should a subsequent application be submitted for the retention of these buildings.

## **9**

There is a possibility there may be some contaminating substances present in the ground at depth. We have no information on the ground conditions. We would advise persons working on site to take basic precautions in relation to any contamination they may find. Please contact the Environmental Protection Unit on 01895 250155 if you require any advice.

## **10**

It is recommended that any new structure is designed and constructed to prevent/minimise the possible entry of any migrating ground gas. Please contact the Building Control Inspector and/or the Environmental Protection Unit on 01895 250155 if you require any advice.

## **11**

- a) If using bulk bins the dimensions of the bin store should ensure there is at least 150 mm clearance in between the bins and the walls of the bin store.
- b) The floor of the bin store should have a surface that is smooth and that can be washed down. The material used for the floor should be 100 mm thick to withstand the weight of the bins.
- c) Arrangements should be made for the cleansing of the bin store with water and disinfectant. A hose union tap should be installed for the water supply. Drainage should be by means of trapped gully connected to the foul sewer. The floor of the bin store area should have a suitable fall towards the drainage points.
- d) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard).
- e) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the chamber is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.
- f) If the value of the construction project is in excess of £300,000 the Site Waste Management Plans Regulations 2008 apply. This requires a document to be produced which explains how waste arising from the building works will be reused, recycled or otherwise handled. This document needs to be prepared before the building work begins.
- j) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

## **12**

1. Changing facilities should be designed in accordance with the guidance given in BS 8300. Visual fire alarm activation devices should be available within the facility.
2. Internal doors should be held open using fire alarm activated magnetic closers whilst the building is in use.
3. Alarm systems should be designed to allow deaf people to be aware of its activation. (Such provisions could include visual fire alarm activation devices, and/or a vibrating pager system.)
4. Consideration should be given to ensure that arrangements exist to provide adequate means of escape for all, including wheelchair users. Fire exits should incorporate a

suitably level threshold and should open onto a suitably level area.

5. Advice from a suitably qualified Fire Safety Officer concerning emergency egress for disabled people should be sought at an early stage.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application relates to Harefield Hospital. The hospital site is within the Green Belt, Harefield Village Conservation Area and the Colne Valley Regional Park. A number of the buildings on the site are statutorily listed as Grade II. The site is designated as a major development site within the Unitary Development Plan (UDP) (Saved Policies September 2007).

The main block at Harefield Hospital comprises two, three storey elliptical 1930's wings, loosely in the style of Art Deco, with the central Anzac Centre. The temporary building to which this application relates is located within an enclosed area behind wards E, F, and G and the bin store would be re-sited between two existing temporary buildings to the rear of wards E, F and G and the ITU unit.

#### **3.2 Proposed Scheme**

Planning permission is sought for -

1. The erection of a temporary building, comprising office and changing facilities, with two new linking corridors to the main hospital building. This building would replace an existing building in a similar position, although the current proposal has a larger footprint (the existing building is 20m x 4m). The proposed building would be 44m x 8.7m wide with a maximum height of 3m. The external building materials would include plastisol walls in goose wing grey.

2. The existing clinical bin store is to be removed and relocated between two existing temporary buildings at the rear of wards E, F and G and the ITU unit. The bin store covers an area of 20m<sup>2</sup> and a new concrete path would be provided.

The Trust's requirement for these buildings is for a temporary period of 2 years. Post this period it is anticipated that the Trust will have commenced work on its proposed new capital expenditure programme for the development of permanent new ward accommodation and other hospital facilities at Harefield. On cessation of this time period these buildings and corridors will be removed and the land and elevations will be reinstated unless subject to a subsequent permission for the redevelopment of the Harefield Hospital site.

There is a Conservation Area Consent application (9011/APP/2010/1121) which seeks consent for the demolition of the existing buildings and is also reported on this agenda.

#### **3.3 Relevant Planning History**

9011/APP/2000/1030      Harefield Hospital Hill End Road Harefield

ERECTION OF A TEMPORARY SINGLE STOREY BUILDING FOR THE RESPIRATORY  
PHYSIOLOGY DEPARTMENT

**Decision:** 11-07-2000 ALT

9011/APP/2000/1130 Harefield Hospital Heart Science Centre Hill End Road Harefield  
DEMOLITION OF SOUTHERN CORNER OF "A" WARD BLOCK (APPLICATION FOR  
CONSERVATION AREA CONSENT)

**Decision:** 16-08-2000 Approved

9011/APP/2000/186 Harefield Hospital, Heart Science Centre Hill End Road Harefield  
ERECTION OF A 1,246 SQ.M THREE STOREY EXTENSION TO THE HEART SCIENCES  
BUILDING (INVOLVING DEMOLITION OF EXISTING SINGLE STOREY BUILDING)

**Decision:** 16-08-2000 Approved

9011/APP/2000/1952 Harefield Hospital Hill End Road Harefield  
AMENDMENTS TO THE DESIGN OF PLANNING PERMISSION REF.9011/APP/2000/905  
DATED 10/07/00; ERECTION OF PATIENT SERVICES CENTRE AND NEW CAR PARKING  
AREA (INVOLVING DEMOLITION OF PART OF 'A' WARDS AND EXISTING PATIENT  
SERVICES CENTRE)

**Decision:** 14-11-2000 Approved

9011/APP/2000/664 Harefield Hospital Hill End Road Harefield  
ERECTION OF A TWO STOREY MEDICAL/ RESEARCH, LIBRARY AND OFFICE BUILDING

**Decision:** 17-08-2000 ALT

9011/APP/2000/904 Harefield Hospital Hill End Road Harefield  
DEMOLITION OF PROJECTING WING ON NORTHSIDE 'A' WARD BLOCK AND RE-  
FACING WITH RENDERED BLOCKWORK (APPLICATION FOR CONSERVATION AREA  
CONSENT)

**Decision:** 12-07-2000 Approved

9011/APP/2000/905 Harefield Hospital Hill End Road Harefield  
ERECTION OF PATIENT SERVICES CENTRE AND NEW CAR PARKING AREA (INCLUDING  
DEMOLITION OF PART OF 'A' WARDS AND EXISTING PATIENT SERVICES CENTRE)

**Decision:** 10-07-2000 Approved

9011/APP/2001/1091 Harefield Hospital Hill End Road Harefield  
ERECTION OF A TEMPORARY PORTAKABIN ADJACENT TO EXISTING TELEVISION  
STUDIO

**Decision:** 07-09-2001 ALT

9011/APP/2001/147 Harefield Hospital Hill End Road Harefield  
ERECTION OF A NEW PATHOLOGY LABORATORY (INVOLVING DEMOLITION OF  
EXISTING PATHOLOGY LABORATORY)

**Decision:** 25-07-2001 Approved

9011/APP/2001/148 Harefield Hospital Hill End Road Harefield  
ERECTION OF 2 PORTACABINS FOR USE AS OFFICES FOR HEART SCIENCE CENTRE  
TO SOUTH OF 'A' WARDS AND NORTH OF HEART SCIENCE CENTRE AND  
INSTALLATION OF A GLAZED LINK

**Decision:** 05-11-2001 ALT

9011/APP/2001/2373 Harefield Hospital Hill End Road Harefield  
RENEWAL OF PLANNING PERMISSION REF. 9011/APP/2000/1030 DATED 11/07/00;  
ERECTION OF A TEMPORARY SINGLE STOREY BUILDING FOR FURTHER CLINICAL USE

**Decision:** 18-01-2002 ALT

9011/APP/2001/952 Harefield Hospital Hill End Road Harefield  
DEMOLITION OF EXISTING PATHOLOGY LABORATORY (APPLICATION FOR  
CONSERVATION AREA CONSENT)

**Decision:** 25-07-2001 Approved

9011/APP/2002/1097 Harefield Hospital Hill End Road Harefield  
ERECTION OF A NEW BUILDING TO CONTAIN TWO CARDIAC OPERATING THEATRES  
AND LINK TO EXISTING CARDIAC OPERATING DEPARTMENT

**Decision:** 10-07-2002 Approved

9011/APP/2002/1659 Harefield Hospital Hill End Road Harefield  
CONSTRUCTION OF THREE ADDITIONAL CAR PARKING AREAS

**Decision:** 11-12-2002 Approved

9011/APP/2002/2696 Harefield Hospital Hill End Road Harefield  
ENLARGEMENT OF PREVIOUSLY APPROVED PLANTROOM TO CARDIAC OPERATING  
THEATRES OF 35.42M<sup>2</sup>

**Decision:** 08-04-2003 Withdrawn

9011/APP/2002/798 Harefield Hospital Hill End Road Harefield  
VARIATION OF CONDITION 3 OF PLANNING PERMISSION REF.9011/APP/2001/2573 TO USE THE EXISTING TEMPORARY SINGLE STOREY BUILDING AS A RESPIRATORY AND PHYSIOLOGY DEPARTMENT AND OTHER CLINICAL USES

**Decision:** 30-08-2002 Approved

9011/APP/2003/608 Harefield Hospital Hill End Road Harefield  
ENLARGEMENT OF PLANT ROOM BY 35.42m<sup>2</sup> AND ERECTION OF A SINGLE STOREY EXTENSION FOR STAFFROOM, LABORATORY, SOILED ECG ROOM AND ANCILLARY ACCOMMODATION OF 70.5m<sup>2</sup> (ADDITIONAL WORK TO PREVIOUSLY APPROVED CARDIAC THEATRE BUILDING)

**Decision:** 04-06-2003 Approved

9011/APP/2006/2843 Harefield Hospital Hill End Road Harefield Middlesex  
ERECTION OF A SINGLE-STOREY TEMPORARY WARD BUILDING WITH ACCESS LINK TO MAIN BUILDING

**Decision:** 07-12-2006 Approved

9011/APP/2007/1602 Harefield Hospital Hill End Road Harefield Middlesex  
ERECTION OF A SINGLE STOREY OFFICE AND STORAGE BUILDING WITH ACCESS LINK TO THEATRE BUILDING.

**Decision:** 31-08-2007 Approved

9011/APP/2007/3536 Harefield Hospital Hill End Road Harefield  
ERECTION OF A SINGLE STOREY BRICK CLAD BUILDING ADJACENT TO THE EXISTING OPERATING THEATRE BLOCK AND CONNECTING TO THE EXISTING ITU TO HOUSE A PLANT ROOM, SIX-BED RECOVERY ROOM WITH ASSOCIATED FACILITIES, STAFF REST AREA AND A KITCHENETTE ALONG WITH ACCESS LINKS TO BOTH THE ITU BUILDING AND TO THE OPERATING THEATRES.

**Decision:** 10-01-2008 Approved

9011/APP/2008/1727 Harefield Hospital Hill End Road Harefield  
ERECTION OF A SINGLE STOREY EXTENSION TO THE REAR OF THE CARDIAC THEATRES FOR USE AS STORAGE AND THE ERECTION OF A SINGLE STOREY STRUCTURE IN THE PARKING AREA, EAST OF THE ANZAC CENTRE FOR USE AS STORAGE FOR MEDICAL GASES INVOLVING THE REMOVAL OF THE EXISTING CONDENSER UNIT ENCLOSURE, AND CREATION OF 3 NEW PARKING SPACES.

**Decision:** 17-10-2008 Approved

9011/APP/2008/1934 Harefield Hospital Hill End Road Harefield  
ERECTION OF AN ELECTRICAL SUBSTATION, EMERGENCY ELECTRICAL GENERATOR

FACILITY AND FUEL STORAGE FACILITY (PART RETROSPECTIVE APPLICATION)

**Decision:** 26-09-2008 Approved

9011/APP/2008/3058 Harefield Hospital Hill End Road Harefield  
ERECTION OF A STATUE IN THE GROUNDS OF HAREFIELD HOSPITAL

**Decision:** 26-11-2008 Approved

9011/APP/2009/2546 Harefield Hospital Hill End Road Harefield Middlesex  
Retention and continued use, for a further period of two years, of single storey temporary ward building with access link to main building (previous planning permission ref.9011/APP/2006/2843.)

**Decision:** 18-03-2010 Approved

9011/APP/2010/1121 Harefield Hospital Hill End Road Harefield  
Demolition of existing temporary office and clinical waste bin store (Application for Conservation Area Consent.)

**Decision:**

#### **Comment on Relevant Planning History**

The hospital site has an extensive planning history. Of particular note is the planning permission granted in 1990 for the establishment of a medically related research and business park on the former North Wards site. The Hillingdon Area Health Authority obtained planning consent in 1996 for a master plan which shows how future development needs across the site can be accommodated.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- BE4 New development within or on the fringes of conservation areas
- BE8 Planning applications for alteration or extension of listed buildings
- BE10 Proposals detrimental to the setting of a listed building
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL3	OL3 Green Belt -
OL4	Green Belt - replacement or extension of buildings
OL9	Areas of Environmental Opportunity - condition and use of open land
OE12	Energy conservation and new development
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
PR20	Harefield Hospital
PPG2	Green Belts
PPS5	Planning for the Historic Environment

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **21st July 2010**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

18 neighbouring properties and other interested parties consulted, no comments received.

### Internal Consultees

Conservation Officer:

The hospital site lies within the Green Belt, the Harefield Village Conservation Area and the original buildings are included in the Local List of Buildings of Architectural or Historic Interest. The area for the new temporary structure is fully enclosed by existing structures and already contains a smaller, single storey temporary structure.

CONSIDERATION: The proposed temporary building would replace a similar existing structure and as its site is fully enclosed by existing permanent structures, it would have little impact on the character and appearance of the conservation area. Given the number of ad hoc additions already within this area, the proposal would also have little effect on the appearance and setting of the Locally Listed hospital building. There are no objections to the demolition of the existing temporary structure and store.

The clinical waste facility as currently proposed would sit between two existing temporary buildings and would not be readily visible from any public area.

CONCLUSION: No objection in principle to either of the new structures, but any approval should be time restricted given the nature of the buildings and the site as a whole.

Environmental Protection Unit

There appears to be a former filled in pond located in the vicinity of this application site based on Ordnance Survey historical maps. The existing temporary office was built over this area. We do not

appear to have any information on ground conditions. Although it seems unlikely the pond was filled with contaminated material, the following contamination informative is advised as a precaution.

There is a possibility there may be some contaminating substances present in the ground at depth. We have no information on the ground conditions. We would advise persons working on site to take basic precautions in relation to any contamination they may find. Please contact the Environmental Protection Unit on 01895 250155 if you require any advice.

Due to the size of the former pond area and because the building will be directly over this area, the following gas informative is advised to ensure there is no gas/vapour intrusion risk into the new building.

It is recommended that any new structure is designed and constructed to prevent/minimise the possible entry of any migrating ground gas. Please contact the Building Control Inspector and/or the Environmental Protection Unit on 01895 250155 if you require any advice.

Waste Development Manager

I would make the following comments on the above application regarding waste management.

- a) If using bulk bins the dimensions of the bin store should ensure there is at least 150mm clearance in between the bins and the walls of the bin store.
- b) The floor of the bin store should have a surface that is smooth and that can be washed down. The material used for the floor should be 100mm thick to withstand the weight of the bins.
- c) Arrangements should be made for the cleansing of the bin store with water and disinfectant. A hose union tap should be installed for the water supply. Drainage should be by means of trapped gully connected to the foul sewer. The floor of the bin store area should have a suitable fall towards the drainage points.
- d) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard).
- e) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the chamber is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.
- f) If the value of the construction project is in excess of £300,000 the Site Waste Management Plans Regulations 2008 apply. This requires a document to be produced which explains how waste arising from the building works will be reused, recycled or otherwise handled. This document needs to be prepared before the building work begins.
- j) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

Trees and Landscape Officer

There are several mature trees on and close to the site of the proposed development. These trees are protected by virtue of their location in the Harefield Village Conservation Area and are, in terms of Saved Policy BE38 of the UDP, features on merit that should be retained (and protected during the construction period in accordance with the recommendations of BS 5837:2005).

The trees and the potential impact of the proposed development on them has been assessed by an arboriculturist. The scheme retains all of the existing trees, but two tree-related issues have been identified. One relates to the need to (minor) prune the Oak tree at the entrance to the site, in order to enable the crane, etc. to access the site, and the other relates to the need to protect the retained trees in particular the Beech in the middle of the site. Both these issues can be addressed by way of a construction and tree protection method statement.

Subject to conditions TL1 (modify to require details of tree retention/removal ONLY), TL2, TL3 and TL21 (modified to also require a schedule of tree work to the oak in accordance with BS 3998), the application is acceptable in terms of Saved Policy BE38.

#### Access Officer

Plans submitted would suggest that this building and its facilities would be inaccessible to disabled people. It should be noted that reasonable adjustments to practices, policies and procedures, auxiliary aids, and physical features will need introducing to ensure that disabled people can take up employment opportunities and perform at work on a level playing field.

The following observations are provided:

The proposed plan does not currently include any WC provision for disabled people and at least one accessible unisex toilet is required.

Toilets should be designed in accordance with the guidance given in Approved Document M to the Buildings Regulations 2004.

The accessible toilet should be signed either Accessible WC or Unisex. Alternatively, the use of the wheelchair symbol and the words Ladies and Gentlemen or Unisex would be acceptable.

Changing facilities should be designed in accordance with the guidance given in BS 8300. Visual fire alarm activation devices should be available within the facility.

Internal doors should be held open using fire alarm activated magnetic closers whilst the building is in use.

Alarm systems should be designed to allow deaf people to be aware of its activation. (Such provisions could include visual fire alarm activation devices, and/or a vibrating pager system.)

Consideration should be given to ensure that arrangements exist to provide adequate means of escape for all, including wheelchair users. Fire exits should incorporate a suitably level threshold and should open onto a suitably level area.

Advice from a suitably qualified Fire Safety Officer concerning emergency egress for disabled people should be sought at an early stage.

NB: The applicant is reminded of the duties set out in the Disability Discrimination Act 1995, with regard to employment and service provision. The failure to take reasonable steps at this stage to facilitate access will therefore count against the service provider, if/when challenged by a disabled person. It is therefore recommended that the applicant takes full advantage of the opportunity that this development offers, to improve the accessibility of the premises to people with mobility and sensory impairments.

Conclusion: In its current format, the proposed development is unacceptable in terms of meeting the council's policies on accessibility. On the basis that the above observations can be incorporated into a revised design, I would have no objection to the proposed development.

Officer comments: these views have been forwarded to the applicants agent and the following response/clarification has been received -

Disabled access toilets being provided within the proposed new office and changing room building as requested by the Council's principal access officer.

In response to this request the Trust now wish to submit the following plan as a non material amendment and wish to make the following comment in response to the officers request, namely that:

The Royal Brompton and Harefield NHS Foundation Trust is keen to ensure that it provides good

quality facilities for all its workforce and that it more than meets its obligations under DDA legislation. The proposal to build new temporary offices and staff changing facilities has now been modified to give easy access for disabled users to all offices, staff room and means of escape.

As the changing rooms are solely for the use of Catheter laboratory staff, all of whom must be able bodied to undertake the strenuous and varied work involved (including the lifting of patients and maintaining their welfare) in this specific circumstance it is not deemed appropriate to provide DDA compliant WC facilities. Furthermore, the area required for DDA compliant WC, locker and shower facilities is not available within such a tight site and their inclusion would mean the loss of facilities for Catheter laboratory staff and the consequent disruption of these critical Catheter services.

In response to address the access officer's concerns, for those visitors and members of staff using the offices and staff room, all corridors have been widened to give clear and easy access for wheelchair users, with also DDA compliant ramps link the new building with the existing building and also form part of the fire escape route.

WC facilities for people with disabilities are already close at hand, as shown on the attached plan, within the existing building and the Trust is looking to provide additional similar facilities within future developments.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

National policy guidance in relation to development within Green Belts is set out in PPG2 - Green Belts. Advice contained in that document states that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. This is to be achieved by resisting inappropriate development which by definition is harmful to the Green Belt.

Harefield Hosital is identified in the UDP as a major development site within the Green Belt. As such, limited in-filling of the site, subject to certain criteria, is appropriate. Given that the proposal involves the replacement of an existing temporary building and clinical bin store, to be used for an activity directly related to the existing/current use of the site the temporary building is considered acceptable, in compliance with Policy PR20 of the UDP (Saved Policies September 2007).

### **7.02 Density of the proposed development**

Not applicable to this application

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application is within Harefield Village Conservation Area, however, the area for the new temporary structure is fully enclosed by existing structures and already contains a smaller, single storey temporary structure. The proposed temporary building would replace this similar existing structure and as its site is fully enclosed by existing permanent structures, it would have little impact on the character and appearance of the conservation area. Given the number of ad hoc additions already within this area, the proposal would also have little effect on the appearance and setting of the locally listed hospital building. There are no objections to the demolition of the existing temporary structure and store. With regard to the clinical waste facility, as currently proposed, this would sit between two existing temporary buildings and would not be readily visible from any public area. As such, there is no objection in principle to either of the new structures. The proposal is, therefore, considered to comply with Policies BE4 and BE8 of the UDP (Saved Policies September 2007).

### **7.04 Airport safeguarding**

Not applicable to this application

## **7.05 Impact on the green belt**

Policy OL1 defines the types of development considered acceptable within the Green Belt. The proposal at this Hospital does not conform to those types, however, this use is considered to be established on this site.

PPG2 states that the construction of new buildings within the Green Belt is inappropriate unless it is for certain specified purposes. The proposal relates to the replacement of a temporary building and clinical bin store (although the latter element would also be re-sited) and as such, the use on this land is established. The guidance goes on to state that the visual amenities of the Green Belt should not be injured by proposals for developments which could be visually detrimental by reason of their siting, materials or design.

Policy OL4 states that the replacement or extension of buildings within the Green Belt will only be acceptable where they do not result in a disproportionate change in the bulk and character of the original buildings and the development would not injure the visual amenities of the Green Belt by reason of siting, design or activities generated.

The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. In terms of visibility, the replacement building would be fully enclosed by existing permanent structures, and therefore would have no effect on the openness of the Green Belt area. Furthermore the clinical waste facility would be re-sited between two existing temporary buildings and as such, would not be readily visible from the wider area. Given that both structures are only requested for a temporary period and therefore it will be possible to reinstate the land and provide future landscaping to these areas to enhance this part of the Hospital, the proposal would be considered acceptable.

Therefore the proposal is considered to comply with policies OL1 and OL4 of the UDP (Saved Policies September 2007) and advice set out in PPG2 Green Belts.

## **7.06 Environmental Impact**

Not applicable to this application

## **7.07 Impact on the character & appearance of the area**

Due to the nature of their construction, the buildings are not considered acceptable as permanent features of the site. However, as planning permission is sought for a limited period of 2 years, the visual impact will be limited, as set out above, the development is considered acceptable. Therefore, subject to conditions controlling their use and removal, the proposal is considered to comply with Policies BE13 and BE15 of the UDP (Saved Policies September 2007).

## **7.08 Impact on neighbours**

Due to the distance of the proposal to the nearest residential properties, it is not considered that the development will impact on any adjoining neighbours.

## **7.09 Living conditions for future occupiers**

Not applicable to this application

## **7.10 Traffic impact, car/cycle parking, pedestrian safety**

With regard to traffic impact, the Design and Access Statement submitted with the application states the replacement buildings would not result in an intensification of activities at the Hospital and the layout plans show the existing parking and access arrangements to remain unchanged by the proposal. Therefore the proposal would be in accordance with Policies AM7 and AM14 of the UDP (Saved Policies September 2007).

## **7.11 Urban design, access and security**

See above

#### **7.12 Disabled access**

The Council's Access officer has recommended a number of changes to the plans, the majority of which have been incorporated. Where it is not possible to incorporate the measures requested the Royal Brompton and Harefield NHS Foundation Trust has set out the reasons for this (See Internal Consultees Section above). Your officers consider that the arguments set out by the Trust are valid and that although not ideal, the specific circumstances provided justify approving the application subjects to conditions requiring level access and DDA compliance as far as possible

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application

#### **7.14 Trees, Landscaping and Ecology**

The Trees and Landscaping Officer has been consulted and requested further information regarding the impact that any construction related works would have on existing on-site trees, such as, use of cranes, contractors vehicles, etc. Additional information has been received in this respect and therefore subject to safeguarding conditions being applied in relation to these issues the application is considered to comply with policy BE38 of the UDP (Saved Policies September 2007).

#### **7.15 Sustainable waste management**

Not applicable to this application

#### **7.16 Renewable energy / Sustainability**

Not applicable to this application

#### **7.17 Flooding or Drainage Issues**

Not applicable to this application

#### **7.18 Noise or Air Quality Issues**

Not applicable to this application

#### **7.19 Comments on Public Consultations**

None

#### **7.20 Planning Obligations**

Not applicable to this application

#### **7.21 Expediency of enforcement action**

Not applicable to this application

#### **7.22 Other Issues**

The application site is also located within the Colne Valley Park and Policy OL9 states that the authority will keep the condition and use of areas of open land under review, where appropriate seek improvements to protect these areas and consider with other land owners positive improvements. The proposal is considered to comply with the intentions of this policy. As the development will not result in a detrimental impact to the site and will not increase the built development further into the open Park area and thereby would complying with Policy OL9 of the UDP (Saved Policies September 2007)

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it

unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

#### **9. Observations of the Director of Finance**

Not applicable to this application

#### **10. CONCLUSION**

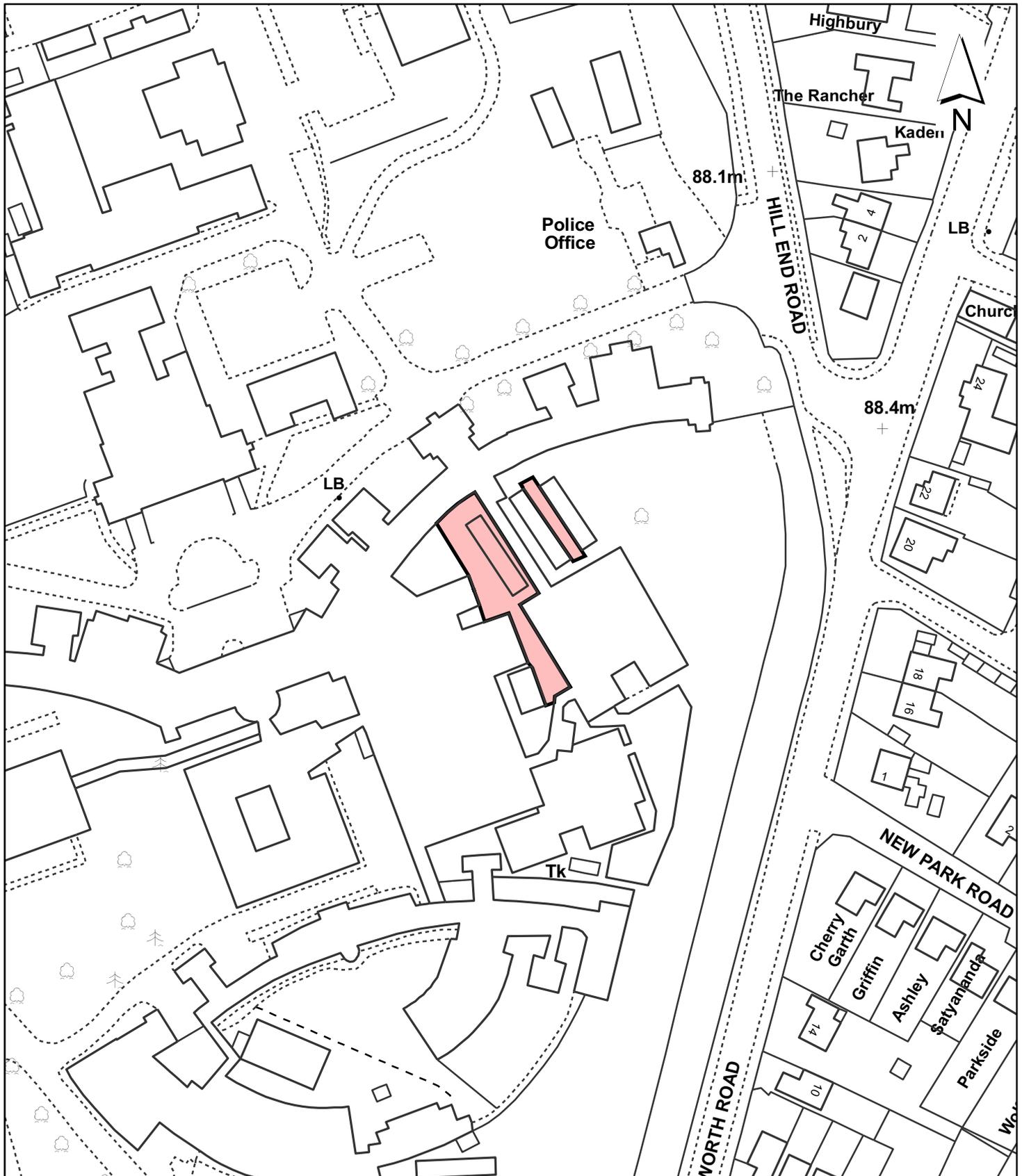
In summary, it is considered that the overriding need of the Hospital Trust to maintain the operational development at the site whilst preparing a masterplan for its redevelopment (including a new permanent ward building and other associated facilities), involving the replacement of the existing temporary building, together with a (re-sited) replacement clinical bin store for a limited 2 year period, outweighs any harm, which is limited in any event, to the character and appearance of the Harefield Village Conservation Area and to the openness of the Green Belt. As such, temporary approval is recommended, subject to conditions requiring the structure to be removed after 2 years and the submission and approval of a land restoration scheme.

#### **11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies September 2007  
The London Plan (2008)  
PPG2 - Green Belts

**Contact Officer:** Catherine Hems

**Telephone No:** 01895 250230



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p><b>Harefield Hospital</b>  <b>Hill End Road</b>  <b>Harefield</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>Planning &amp; Community Services</b></p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW          Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>9011/APP/2010/1120</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	
	<p>Planning Committee</p> <p><b>North</b> Page 186</p>	<p>Date</p> <p><b>July 2010</b></p>	
		 <b>HILLINGDON</b> LONDON	

## Report of the Head of Planning & Enforcement Services

**Address** HAREFIELD HOSPITAL HILL END ROAD HAREFIELD

**Development:** Demolition of existing temporary office and clinical waste bin store (Application for Conservation Area Consent.)

**LBH Ref Nos:** 9011/APP/2010/1121

**Drawing Nos:** P10-001  
P10-004  
P10-002  
P10-005  
P10-003  
P20-002  
P20-001  
P20-003  
P30-001  
Design and Access Statement  
Supporting Planning Statement

**Date Plans Received:** 18/05/2010

**Date(s) of Amendment(s):**

**Date Application Valid:** 10/06/2010

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application relates to Harefield Hospital. The hospital site is within the Green Belt, Harefield Village Conservation Area and the Colne Valley Regional Park. A number of the buildings on the site are statutorily listed as Grade II. The site is designated as a major development site in the Unitary Development Plan (UDP) (Saved Policies September 2007).

The main block at Harefield Hospital comprises two, three storey elliptical 1930's wings, loosely in the style of Art Deco, with the central Anzac Centre. The temporary building to which this application relates is located within an enclosed area behind wards E, F, and G and the bin store would be re-sited between two existing temporary buildings to the rear of wards E, F and G and the ITU unit.

### 1.2 Proposed Scheme

Conservation Area Consent is sought to demolish the existing temporary buildings and associated corridors and erect a replacement building in a similar position although with a larger footprint.

The existing temporary building is 20m by 4m and is situated in an enclosed area behind wards E, F and G. The clinical bin store also contained within this area would be re-sited between two existing temporary buildings to the rear of wards E, F and G and the ITU unit.

The Hospital Trust's requirement for the proposed buildings is for a temporary period of 2 years. Post this period it is anticipated that the Trust will have commenced work on its proposed new capital expenditure programme for the development of permanent new ward accommodation and other hospital facilities at Harefield. On cessation of this time period these buildings and corridors will be removed and the land will be re-instated.

The planning application for the proposed development ref. 9011/APP/2010/1120 is also reported on this agenda.

### **1.3 Relevant Planning History**

#### **Comment on Planning History**

The hospital site has an extensive planning history. Of particular note is the planning permission granted in 1990 for the establishment of a medically related research and business park on the former North Wards site. The Hillingdon Area Health Authority obtained planning consent in 1996 for a master plan which shows how future development needs across the site can be accommodated.

### **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- 21st July 2010

**2.2** Site Notice Expiry Date:- 21st July 2010

### **3. Comments on Public Consultations**

EXTERNAL

The application was given statutory site and press publicity.

18 neighbouring properties and other interested parties consulted, no comments received.

INTERNAL

Conservation Officer:

The hospital site lies within the Green Belt, the Harefield Village Conservation Area and the original buildings are included in the Local List of Buildings of Architectural or Historic Interest. The area for the new temporary structure is fully enclosed by existing structures and already contains a smaller, single storey temporary structure.

CONSIDERATION: The proposed temporary building would replace a similar existing structure and as its site is fully enclosed by existing permanent structures, it would have little impact on the character and appearance of the conservation area. Given the number of ad hoc additions already within this area, the proposal would also have little effect on the appearance and setting of the Locally Listed hospital building. There are no objections to the demolition of the existing temporary structure and store.

The clinical waste facility as currently proposed would sit between two existing temporary buildings and would not be readily visible from any public area.

CONCLUSION: No objection in principle to either of the new structures, but any approval should be time restricted given the nature of the buildings and the site as a whole.

#### 4. **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- BE4 New development within or on the fringes of conservation areas
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.

#### 5. **MAIN PLANNING ISSUES**

In relation to the application for the demolition of the existing temporary buildings, PPS5 advises that when considering developments within Conservation Area, there should be a general presumption in favour of the conservation of designated assets. Any harmful impact on the significance of a designated asset needs to be justified. However, not all designated assets are of equal significance or sensitivity to change.

Where a proposal causes minor harm there will still be a loss of value to society caused by that harm. This is a loss of public benefit that needs to be weighed against any other public benefits the proposal will bring, including, possibly, the conservation benefit of the proposal being part of realising the optimal viable use of the asset. Flexibility and imagination in the design process is crucial to minimising conflict. Some works may seem individually to be of little importance but can cumulatively be destructive of a heritage assets significance.

This application seeks consent to demolish an existing temporary building, which does not contribute to the heritage value of the existing hospital or the wider Conservation Area and as such, no objection would be raised to its removal. Therefore subject to suitable safeguarding conditions limiting the amount of demolition to that shown on the approved drawings and the requirement that any damage caused in the execution of the works shall be made good within 3 calendar months, to ensure that appropriate control over the development is maintained, the proposal is considered to comply with policy BE4 of the UDP (Saved Policies September 2007) and Policy HE9 of Planning Policy Statement 5 (PPS5).

#### 6. **RECOMMENDATION**

**APPROVAL** subject to the following:

- 1 CAC16 Time Limit (3 years) - Conservation Area Consent

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

**REASON**

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

**2 CAC4 Making good of any damage**

Any damage caused to the building in execution of the works shall be made good to the satisfaction of the Local Planning Authority within 3 months of the works being completed.

**REASON**

To safeguard the existing buildings and wider Conservation Area in accordance with Policy BE4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 CAC10 Extent of demolition**

No demolition beyond that indicated on the approved drawings shall take place without the approval of the Local Planning Authority.

**REASON**

To safeguard the existing hospital buildings and the wider conservation area in accordance with Policy BE4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**INFORMATIVES**

**1** The decision to GRANT conservation area has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2** The decision to GRANT conservation area consent planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

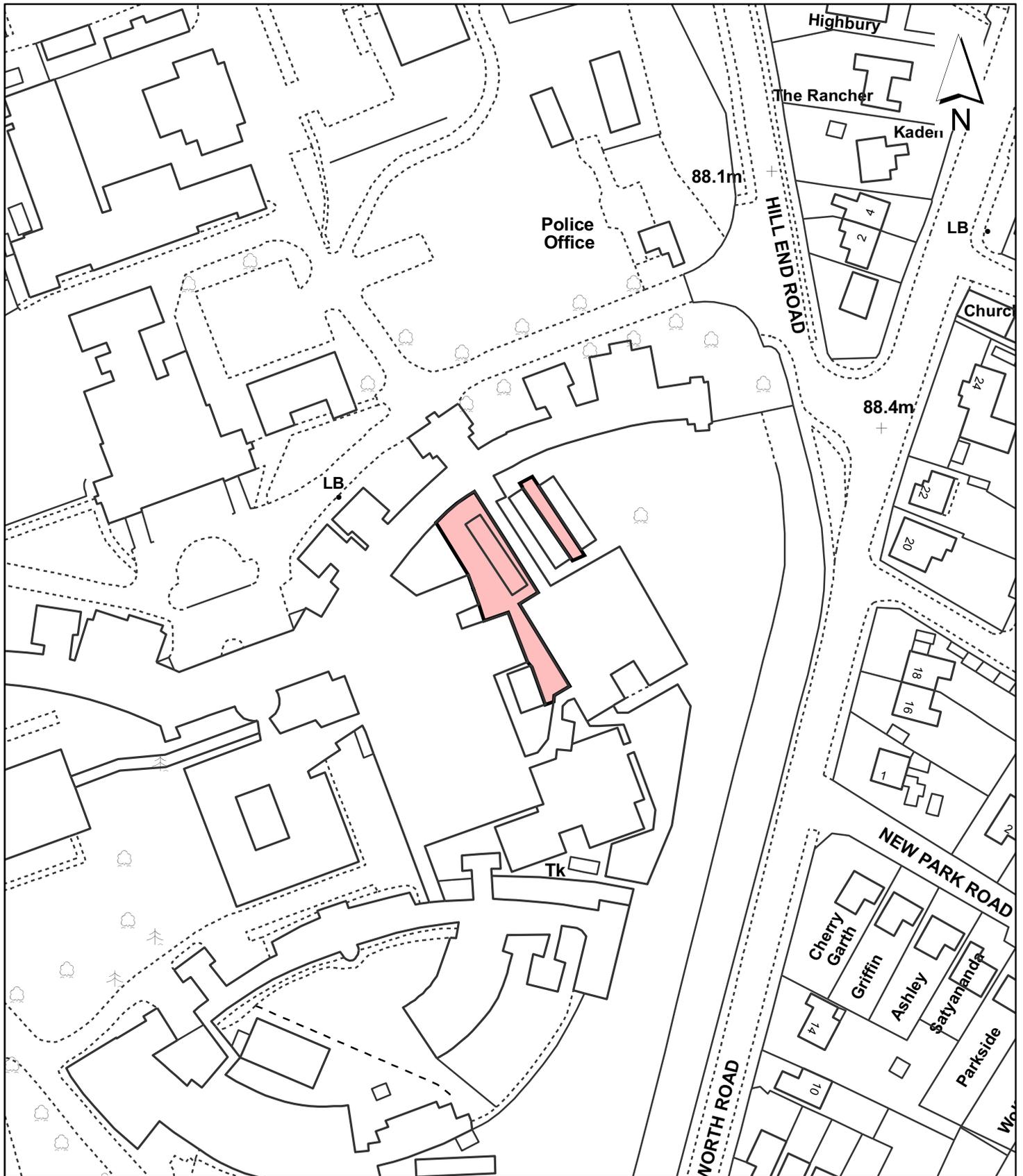
BE4 New development within or on the fringes of conservation areas

BE13 New development must harmonise with the existing street scene.

BE19 New development must improve or complement the character of the area.

**Contact Officer:** Catherine Hems

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address	
<b>Harefield Hospital Hill End Road Harefield</b>	
Planning Application Ref:	Scale
<b>9011/APP/2010/1121</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 191	<b>July 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



HILLINGDON

LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** KYLEMORE HOUSE HILL END ROAD HAREFIELD

**Development:** Alterations to front boundary to include new gate and fencing involving removal of existing wall, pillars, railings and gates.

**LBH Ref Nos:** 46539/APP/2010/1396

**Drawing Nos:** 1634B/KG-01/KG Rev. A  
1634B-02/KG Rev. A - Proposed Front Boundary  
1634B-03/KG Rev. B  
1634B-02/KG - (Location/Block Plan)

**Date Plans Received:** 15/06/2010                      **Date(s) of Amendment(s):** 15/06/2010  
**Date Application Valid:** 23/06/2010                      08/07/2010

## 1. CONSIDERATIONS

### 1.1 Site and Locality

Kylemore House comprises a two storey detached property on a reasonably large plot located on the south western side of Hill End Road, some 40m to the north of the access to White Heath Farm. Adjoining the property to the north is a row of 4 terraced houses known as Nos. 1 - 4 Tanrey Cottages. The house and the adjoining terrace are set back approximately 40m from the road, which on this side is fronted by a strip of woodland. The surrounding area predominantly forms open fields. The original property has a two storey side extension, a single storey side extension/conservatory, a detached double garage, a number of outbuildings, including a large pool house, extensive hardstanding and decking areas. A wall has also been erected along the front of this and the adjoining terrace, at the back of the roadside verge, in front of the wooded area. The site forms part of the Green Belt and is located within the Colne Valley Park.

### 1.2 Proposed Scheme

This application seeks permission to remove the existing 1m high wall, pillars, railings and gate on the front boundary and erect a 2m high timber fence, approximately 65m long to the front of this and the adjoining properties, Tanrey Cottages, set back approximately 4.5m from the existing wall. A new vehicular access would be created approximately 10m from its northern end, with the blocking-up of the existing southern vehicular access in front of Kylemore House.

### 1.3 Relevant Planning History Comment on Planning History

There is an extensive planning history on this site. Following a number of refusals which were dismissed at appeal, permission for a replacement house on this site was approved on 8/04/94 (ref. 46539/D/94/85).

Subsequently, two certificates of lawfulness were refused on 7/03/08 and 23/04/08, the first one was for a detached single storey garage (ref. 46539/APP/2007/3807) and the latter was for a single storey detached outbuilding for use as a gym/playroom/store (ref. 46539/APP/2008/688).

This was followed, initially by the refusal of a part retrospective application on the 13/05/08 for the erection of a two storey side extension with front and rear dormers and erection of a 2m high front brick wall with electrically operated gates (ref. 46539/APP/2008/686) before permission was granted for the erection of a two storey side extension with front and rear dormers on the 7/11/2008 (ref. 46539/APP/2008/2707).

A swimming pool housing was the subject of a subsequent certificate of lawfulness (ref. 46539/APP/2008/2748) which was approved on the 17/11/2008.

Following a number of applications either involving the front boundary, vehicular access or the retention of a detached garage and external staircase which were withdrawn, permission for a two storey side extension on the other side of the house from the two storey side extension that had already been granted, was refused on the 17/04/09 (ref. 46539/APP/2009/342). A subsequent appeal was dismissed on the 12/03/2010.

This has been followed by numerous refusals which include a certificate of lawfulness for two detached single storey outbuildings for use as a gymnasium and car port (ref. 46539/APP/2009/346) on the 17/04/09, retention of a single storey attached building and staircase to the existing detached garage for a limited 1 year period (ref. 46539/APP/2009/356) on 23/04/09, retention of front boundary wall, railings and gates and new access, crossover and driveway (ref. 46539/APP/2009/1160) on the 4/08/09, a certificate of lawfulness for a single storey outbuilding for use as a swimming pool house (ref. 46539/APP/2009/1833) on the 15/10/09 and a certificate of lawfulness for a side canopy (ref. 46539/APP/2009/1834) on the 15/10/09.

An appeal against an enforcement notice relating to 1. a single storey attached building (lean to car port structure) and rear staircase to existing detached garage, 2. brick piers, gates and railings to front boundary to include new vehicular crossover and 3. a container used for domestic heating purposes for the storage of liquid petroleum gas was dismissed on the 12/03/10.

## **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- 23rd July 2010

**2.2** Site Notice Expiry Date:- Not applicable

## **3. Comments on Public Consultations**

### EXTERNAL CONSULTATION

4 neighbouring properties have been consulted and a site notice has been displayed on site. A total of 9 responses have been received from these properties, objecting to the

proposal on the following grounds:-

- (i) The proposed fence butts onto a highway and therefore should be no higher than 1m. A solid fence would be inappropriate along Hill End Road, where trees, hedges and shrubbery form the boundaries. The suburban fence would compromise the open and rural aspect of the road, and impact upon the openness of the Green Belt;
- (ii) No tree survey/report has been carried out to BS 5837:2005 to comply with saved Policy BE38 of the UDP. Despite applicant continually stating on the application forms that no trees or hedges are within falling distance of the proposed developments, much tree and hedge destruction has already been carried out by the applicant. The new application would severely damage what is left of the existing woodland as there are trees in the proposed area of the drive that would need to be felled to accommodate it and fence would remove light from woodland. Damage to woodland would be detrimental to the character of the Green Belt;
- (iii) Historically, Kylemore House has always had its entrance to the front of the property. It is not appropriate to move it in front of Tanrey Cottages front gardens. Residents will experience increased light, noise and pollution from applicant's large cars and commercial vehicles stored at the site;
- (iv) Proposed entrance, close to the entrance to the four house which comprise Tanrey cottages would be detrimental to road safety, particularly in rural setting when accesses are expected to be widely spaced;
- (v) Applicant has a history of harassment against local residents;
- (vi) Existing front wall with unauthorised driveway has yet to be removed;
- (vii) During recent development work at Kylemore House, an ancient drainage ditch was removed. This needs to be reinstated as water will sit on the road, threatening road safety and adjacent neighbouring driveway is being eroded;
- (viii) Driveway would be disproportionate to surroundings and proposal, if approved, will establish precedent for more driveways;
- (ix) Planning Inspectorate has already refused a retrospective application with regard to the second driveway and wished for it to be removed;
- (x) Applicant will go ahead and seek retrospective approval as he has done with all the other unauthorised developments at this address;
- (xi) Land Registry Covenant AGL 28749 with previous land owner protects the then 31 woodland trees on the woodland strip and for this area to be managed by a 'specialist arboricultural contractor'. This also required any successor in title to enter into a Deed of Covenant to secure the same. No such specialist tree work has been carried out, in fact tree roots of TPO'd trees were chopped rather than protected;
- (xiii) Previous appeal for a new entrance into the woodland and other works was dismissed as considered inappropriate;
- (xiv) Current driveway through woodland was only meant to be temporary;
- (xv) Application form states that the proposed materials and finishes are not available but this is a timber fence;
- (xvi) A 1m high chain-link fence would be more sympathetic to the woodland, rather than 2m high fence;
- (xvii) With a driveway through the wood and the screening afforded by a 2m high fence, applicant might be tempted to build within woodland;
- (xviii) Conditions attached to permission on original house sought to ensure that the woodland was protected;
- (xix) Driveway would drive away fauna from the area;
- (xx) Application a cynical attempt to waste Council time, taxpayer's money and delay enforcement action being taken against the existing boundary treatment;
- (xxi) Applicant has a massive caravan parked on his drive that would not be able to use

the proposed access

Officer's Response: The relevant material planning concerns raised have been dealt with in the officer's report.

Harefield Tenants and Residents' Association:

Members welcome the revised design for the front boundary treatment which would be a major improvement to the street scene. However, the 2 metre high fence panels would still be quite imposing.

We object totally to the closure of the original access drive which has planning permission and the retention of the drive (without planning approval) through the copse/wood and the access which has been created without planning approval from the Council.

The amount of footprint that has been covered with hardstanding at this site is incredible and this needs to be removed and the wooded area be returned back as of the original planning conditions put on the site when it was known as Tanray House.

We request refusal.

Harefield Village Conservation Panel

The Panel objects to this application vigorously. It shows the proposed new fence set back from the line of the existing wall, which was built so close to trees in the protected woodland that some trees had to have their roots cut back severely, and a new drive through the trees, has been submitted without the benefit of an accurate tree survey.

Further, the alignment shown for the drive is totally unrealistic as the geometry shown could not be traversed by wheeled vehicles. A properly designed drive with a horizontal alignment which does not impinge upon or cover the root spread of any tree must be required before this application can be considered.

The timber fence proposed is quite unsuitable for this site by reason of its height and solid construction which would fail to harmonise with the rural character and openness of this Green Belt location and was contrary to Policies BE13 and OL4 of the Council's UDP (Saved Policies September 2007) and Section 10.00 of the Council's HDAS "Residential Extensions."

Also, the Panel refers to an earlier application for a similar wall and gates (ref: 46539/APP/2009/75) that was withdrawn about 30 minutes before the North Planning Committee meeting held on 7th April 2009, at which a report of the Director of Planning & Community Services Group recommending refusal for this application, was to be considered.

This report sets out cogently why this application should be refused and stated that a hedge of native trees or shrubs along the road frontage with chain link or weld-mesh fencing behind would be much more suitable for the area. The Panel believes that this still applies and urges that this application is refused until such a solution is proposed.

INTERNAL CONSULTATION

Tree Officer:

This plan is still very sketchy and does not provide enough comfort that the protected trees on the site will be retained and adequately safeguarded.

\* The tree survey should be to BS5837:2005. All trees closest to the roadway need to be accurately plotted, identified and assessed individually. Elsewhere the areas of woodland cover also need to be indicated on plan.

\* All wooded areas should be annotated 'to be retained' and protected.

\* The LPA require detailed 'no dig' construction details, including construction details/levels. (Bark chippings will break down quickly and are unlikely to form a sustainable driveway.

\* Clearer indication of landscape proposals. Location and extent of new planting/hedging?

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area.

Part 2 Policies:

OL4 Green Belt - replacement or extension of buildings

BE13 New development must harmonise with the existing street scene.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

AM7 Consideration of traffic generated by proposed developments.

HDAS Residential Extensions

PPG2 Green Belts

BE19 New development must improve or complement the character of the area.

#### **5. MAIN PLANNING ISSUES**

The main considerations with this proposal relate to the impact upon the Green Belt and the visual amenities of Hill End Road, the impact upon trees, the implications for residential amenity and highway safety.

The Inspector, in considering the appeal against the enforcement notice which together with other developments, dealt with the existing brick piers, gates and railings that have been erected on the front boundary, together with a new vehicular crossover, considered the structure to constitute inappropriate development in the Green Belt and concluded that it significantly increased the built-up appearance of the site, in conflict with saved UDP Policy OL4. As regards the new crossover, the Inspector did not consider that it resulted in

a material loss of openness, but due to the extent of its hard surface, it imparted a greater awareness of development in this rural location. In particular, the Inspector considered the brick piers, gates and railings 'are highly visible over a long distance from the highway and the footway on its eastern side. They give a far more built-up appearance to this part of Hill End Road than the fallback position (one metre high boundary structures), and significantly diminish and harm the openness of the Green Belt.' The Inspector went on to acknowledge the benefit of the wall and railings in terms of affording security to the premises, and whilst these benefits were not dismissed lightly, the Inspector considered that there are alternative ways of addressing these concerns that would be more sympathetic to the character and appearance of the locality.

By contrast, this proposal is for a replacement 2m high timber fence, set back by approximately 4.5m from the existing boundary wall which would be removed and the existing southern entrance to the site blocked. The fence, particularly if it were to be treated with a dark finish, would not be particularly dominant within the Green Belt, and its recessed position would involve the fence being sited within the woodland, with a number of trees in front of the fence line, helping to screen it. The fence could also be further screened by appropriate planting, which could be controlled by condition. It is therefore considered that although the fence does represent inappropriate development within the Green Belt, given its timber construction and siting, its impact upon the openness and character of the Green Belt would be negligible. Furthermore, the proposed new access would replace the existing access so that there would be no net increase in the perception of development at this site. For similar reasons, the fence would not appear unduly dominant within Hill End Road. The proposal is considered to satisfy Policies OL4 and BE13 of the saved UDP (September 2007).

An important aspect of maintaining the character of the Green Belt will be to ensure that the impact of the development upon existing protected trees is acceptable. To this end, the Council's Tree and Landscape Officer advises that the information submitted with the application is inadequate and fails to satisfy BS5837:2005. As such, the Local Planning Authority has been unable to fully assess the impact of the development upon protected trees and the proposal is contrary to saved UDP Policy BE38.

As regards the impact upon neighbouring properties, the proposed fence is sufficiently remote and would be screened from Tanrey Cottages, the nearest residential properties by the woodland. As regards the impact of vehicles using the new access, this would be sited to the front of Tanrey Cottages, some 20m from the front elevation of the nearest property. It is considered that this relationship is a normal one, akin to properties fronting the road and the separation distance would assist with the mitigation of the impact of the use of the new drive. The proposal would accord with Policies BE20, BE21 and OE1 of the saved UDP (September 2007).

As regards highway safety, with the fence being set back from the road, adequate visibility splays could be maintained to safeguard highway safety. As such the proposal is considered to accord with Policy AM7(ii) of the saved UDP (September 2007).

## 6. RECOMMENDATION

**REFUSAL** for the following reasons:

1           NON2           Non Standard reason for refusal

It is considered that the development would be likely to adversely impact on trees of recognised amenity value which contribute to the rural green belt setting.

Nonetheless, in the absence of detailed and comprehensive tree information, including a tree survey to BS5837:2005, the Local Planning Authority has been unable to fully assess the impact of the development upon existing protected trees on and close to the site. The proposal therefore fails to accord with Policy BE38 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

## **INFORMATIVES**

- 1** The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2** The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
HDAS	Residential Extensions
PPG2	Green Belts
BE19	New development must improve or complement the character of the area.

### **Standard Informatives**

- 1** The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

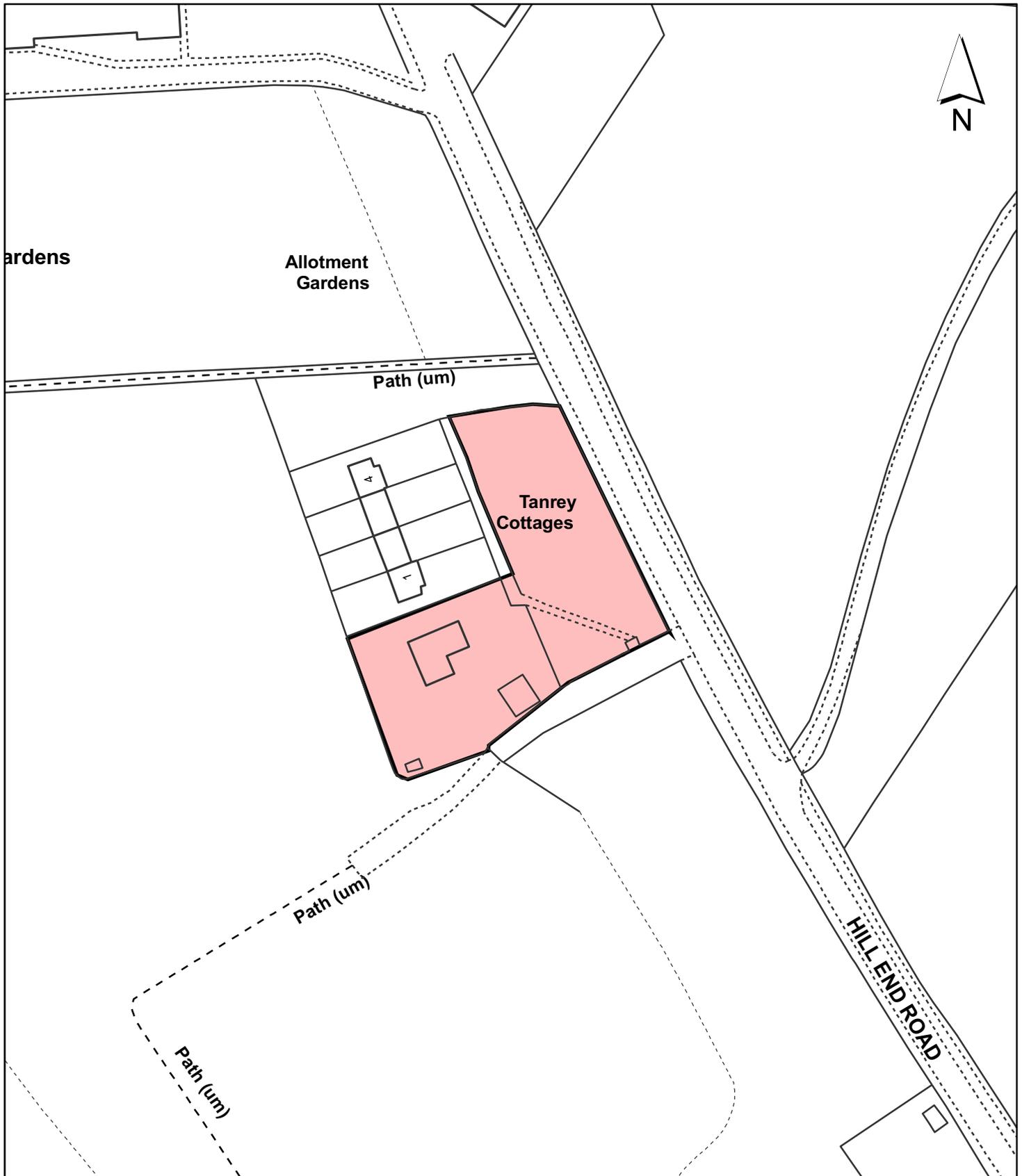
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

**Policy No.**

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
HDAS	Residential Extensions
PPG2	Green Belts
BE19	New development must improve or complement the character of the area.

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p><b>Kylemore House Hill End Road Harefield</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>Planning &amp; Community Services</b></p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>46539/APP/2010/1396</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	 <p><b>HILLINGDON</b> LONDON</p>
	<p>Planning Committee</p> <p><b>North</b> Page 201</p>	<p>Date</p> <p><b>July 2010</b></p>	

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## Report of the Head of Planning & Enforcement Services

**Address** KYLEMORE HOUSE HILL END ROAD HAREFIELD

**Development:** Single storey side extension/conservatory (Retrospective Application).

**LBH Ref Nos:** 46539/APP/2010/1397

**Drawing Nos:** 1634A-03/FP  
1634A-01/FP  
1634A-02/FP

**Date Plans Received:** 15/06/2010      **Date(s) of Amendment(s):**

**Date Application Valid:** 15/06/2010

### 1. CONSIDERATIONS

#### 1.1 Site and Locality

Kylemore House comprises a two storey detached property on a reasonably large plot located on the south western side of Hill End Road, some 40m to the north of the access to White Heath Farm. Adjoining the property to the north is a row of 4 terraced houses known as Nos. 1 - 4 Tanrey Cottages. The house and the adjoining terrace are set back approximately 40m from the road, which on this side is fronted by a strip of woodland. The surrounding area predominantly forms open fields. The original property has a two storey side extension, a single storey side extension/conservatory the subject of this application, a detached double garage, a number of outbuildings, including a large pool house, extensive hardstanding and decking areas. A wall has also been erected along the front of this and the adjoining terrace, at the back of the roadside verge, in front of the wooded area. The site forms part of the Green Belt and is located within the Colne Valley Park as identified in the UDP saved policies September 2007.

#### 1.2 Proposed Scheme

This is a retrospective application to retain the existing single storey side extension which has been erected at the side of the existing two storey side extension. The extension is set back 0.9m from the front elevation of the two storey side extension and is 5.7m wide, 5.3m deep, with a hipped roof, 2.5m high to eaves level and 4.2m high to its ridge. It is brick built with a tiled roof, with full width patio doors at the side and rear.

#### 1.3 Relevant Planning History Comment on Planning History

There is an extensive planning history on this site. Following a number of refusals which were dismissed at appeal, permission for a replacement house on this site was approved on 8/04/94 (ref. 46539/D/94/85).

Subsequently, two certificates of lawfulness were refused on 7/03/08 and 23/04/08, the first one was for a detached single storey garage (ref. 46539/APP/2007/3807) and the latter was for a single storey detached outbuilding for use as a gym/playroom/store (ref. 46539/APP/2008/688).

This was followed, initially by the refusal of a part retrospective application on the 13/05/08 for the erection of a two storey side extension with front and rear dormers and erection of a 2m high front brick wall with electrically operated gates (ref. 46539/APP/2008/686) before permission was granted for the erection of a two storey side extension with front and rear dormers on the 7/11/2008 (ref. 46539/APP/2008/2707).

A swimming pool housing was the subject of a subsequent certificate of lawfulness (ref. 46539/APP/2008/2748) which was approved on the 17/11/2008.

Following a number of applications either involving the front boundary, vehicular access or the retention of a detached garage and external staircase which were withdrawn, permission for a two storey side extension on the other side of the house from the two storey side extension that had already been granted, was refused on the 17/04/99 (ref. 46539/APP/2009/342). A subsequent appeal was dismissed on the 12/03/2010.

This has been followed by numerous refusals which include a certificate of lawfulness for two detached single storey outbuildings for use as a gymnasium and car port (ref. 46539/APP/2009/346) on the 17/04/09, retention of a single storey attached building and staircase to the existing detached garage for a limited 1 year period (ref. 46539/APP/2009/356) on 23/04/09, retention of front boundary wall, railings and gates and new access, crossover and driveway (ref. 46539/APP/2009/1160) on the 4/08/09, a certificate of lawfulness for a single storey outbuilding for use as a swimming pool house (ref. 46539/APP/2009/1833) on the 15/10/09 and a certificate of lawfulness for a side canopy with a mono-pitched roof with a similar siting to this extension/conservatory (ref. 46539/APP/2009/1834) on the 15/10/09.

## **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- 23rd July 2010

**2.2** Site Notice Expiry Date:- Not applicable

## **3. Comments on Public Consultations**

4 neighbouring properties have been consulted and a site notice has been displayed. 5 responses have been received, objecting to the conservatory on the following grounds:-

(i) There is a long standing history of various applications made on this site and a serious amount of building works have been built without planning permission, including the building in front of the conservatory. The site since the original approval for a replacement house (46539D/94/85) now includes a new extension (built with permission), a garage (built without permission), a gymnasium (built without permission), a 17.3m x 7.4m pool house (built under permitted development), another outbuilding (built without permission) and a very large non-permeable parking area. An Inspector considering a previous two storey side extension considered it harmful to the Green Belt by reason of inappropriateness and loss of openness, contrary to Policies OL1 and OL4 of the UDP.

Kylemore House, formerly Tanrey House has grown out of all proportion and the building works constitute more than 50% of the area of the original dwelling. This development has ruined enough of the Green Belt and developer needs to know that he can not build whatever he wants. Application should be rejected as clearly overdevelopment, contrary to Policies OL4 and OL5;

- (ii) Irrespective of decisions made by the Council, buildings remain on site;
- (iii) Building work is not in character with the rural nature of this village;
- (iv) The development has a solid tiled roof and brick walls with windows found elsewhere on the house. As such, it is not a conservatory, but an extension;
- (v) Plans are inaccurate/wrong as pool house is incorrectly positioned and plans do not show a building between pool house and fence adjoining No. 1 Tanrey Cottages;
- (vi) Granting retrospective permission would set dangerous precedent as to what constitutes a conservatory; and
- (vii) Development is irresponsible, particularly in the green belt.

Officer's comments: The relevant planning points raised have been considered in the main report.

Harefield Village Conservation Panel: No response received.

Harefield Tenants and Residents' Association:

We object to the retention of this structure which has already been refused a Certificate of Lawful Development by the Council.

The plans as shown on the web site quite clearly show an intention to extend on this conservatory structure which the applicant is now seeking retrospective planning approval for.

This is a Green Belt site which has already seen an immense amount of development on it, some of which has no planning approval.

Our objections are overdevelopment of the site detrimental to the Green Belt.

Ickenham Residents' Association: No response received.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area.

Part 2 Policies:

OL4 Green Belt - replacement or extension of buildings

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS	Residential Extensions
PPG2	Green Belts

## 5. MAIN PLANNING ISSUES

The main issue with this application is the impact upon the character and openness of the Green Belt, the impact upon the existing house and street scene and the residential amenities of neighbouring properties.

Planning Policy Guidance Note 2: Green Belts (PPG2) states that the most important attribute of the Green Belt is its openness. Therefore, the construction of new buildings in the Green Belt is inappropriate unless it is for a limited range of uses including agriculture, forestry, recreation, cemeteries, limited alteration/re-building of existing dwellings, and limited infilling of villages and major developed sites as identified in adopted plans. The extension or alteration of dwellings is therefore not inappropriate development, providing that it does not result in a disproportionate addition.

PPG2 also makes clear that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in 'very special circumstances'. The guidance adds that such circumstances will not exist unless the harm is clearly outweighed by other considerations and that it is for the applicant to show why permission should be granted.

Policy OL4 of the saved UDP follows this guidance and advises that the replacement or extension of buildings within the Green Belt should not result in the disproportionate change in the bulk and character of the building, the proposal would not significantly increase the built up appearance of the site and the visual amenities of the Green Belt would not be injured by reason of siting, materials, design, traffic or activities generated.

A general rule of thumb and a method accepted by the Inspector in considering the two storey side extension dismissed at appeal in March 2010 (ref. 46539/APP/2009/342) is that for an extension not to result in a disproportionate increase to the size of a property, it should not increase in the floor area of the original property by more than 50%. The original house was approved in April 1994 with an internal floorspace of some 183sqm. Subsequently, planning permission was granted in November 2008 for a two storey side extension that has now been built and adds 52sqm to the original floor area. The single storey extension the subject of this application has added a further 27.5sqm of floorspace, which together with the existing two storey side extension represents a 43% increase to the floor area of the original house (the extension considered by the Inspector involved a 53% increase).

As such, the extension is not considered to represent disproportionate change to the

house itself. However, the extension needs to be considered in the context of the overall site. In this respect, a number of outbuildings and extensive areas of hardstanding and decking have been added in recent years, including a large 17m x 7m swimming pool enclosure in the rear garden and a substantial detached double garage at the front of the house. Although it has been accepted that the swimming pool enclosure constitutes 'permitted development,' nonetheless, the overall result of all the recent development on site is to significantly increase the built up appearance of the site, including buildings that greatly extend the building envelope on site, being erected closer to the site boundaries, including those that adjoin open countryside. This extension clearly contributes to the overall significant increase in built development on site. Furthermore, the applicant has not provided any very special circumstances to justify the development. As such, the extension is considered to be contrary to PPG2 and Policy OL4 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

In terms of the impact upon the house, it is considered that the extension is of a design and has been constructed of materials that respects the character and appearance of the property. The house is also set well back from the road and the side extension is screened by other outbuildings and trees to the front of the site so that it would not adversely affect the visual amenities of the street scene. As regards the impact upon neighbouring properties, the extension is on the other side of the house and would therefore be largely screened from the adjoining residential property, No.1 Tanrey Cottages so that their residential amenity would not be materially harmed in terms of overshadowing, dominance or overlooking. As such, the side extension complies with policies BE13, BE15, BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

However, the absence of harm in terms of the impact of the development on the character and appearance of the house itself, the street scene and neighbouring properties are neutral factors rather than positive ones and cannot compensate for the cumulative harm that results from all the development works undertaken recently at this site, which includes this extension, to the openness and character of the Green Belt.

## **6. RECOMMENDATION**

### **REFUSAL for the following reasons:**

#### **1 NON2 Non Standard reason for refusal**

The single storey extension, together with other developments that have taken place on site, both with and without planning permission, involving a two storey extension, various outbuildings including a pool enclosure and double garage and hardstanding and decking areas, has resulted in a significant increase in the built up appearance of this site within the Green Belt. The single storey extension contributes to the overall built-up appearance of the site, which represents inappropriate development within the Green Belt and is therefore harmful by definition. Furthermore, the applicant has not demonstrated that very special circumstances exist to justify the inappropriate development. The development is therefore contrary to Policy OL4 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and national policy as set out in PPG2.

## **INFORMATIVES**

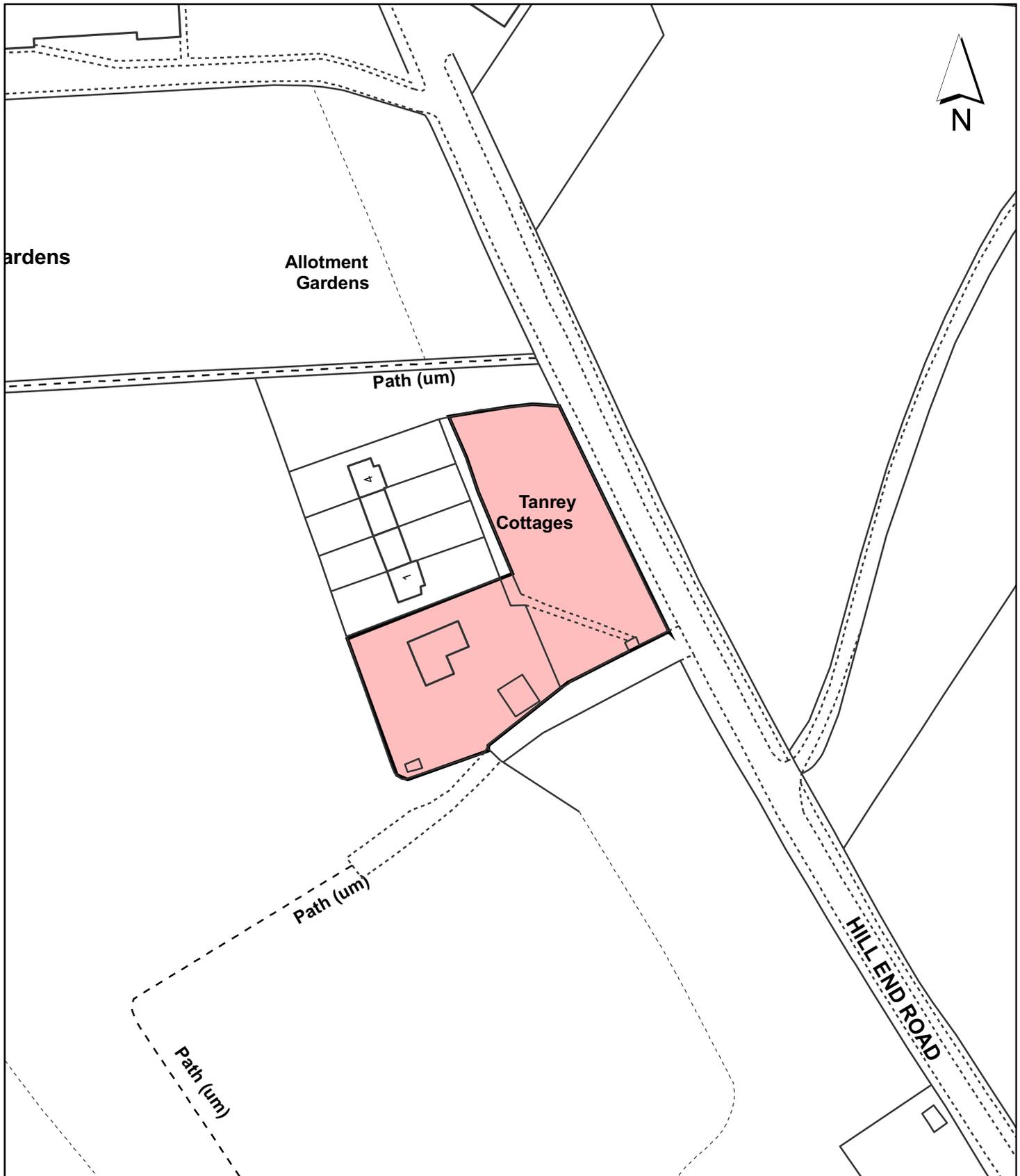
## Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
  
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:  
**Policy No.**

OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS	Residential Extensions
PPG2	Green Belts

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p><b>Kylemore House Hill End Road Harefield</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>Planning &amp; Community Services</b></p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>46539/APP/2010/1397</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	 <p><b>HILLINGDON</b> LONDON</p>
	<p>Planning Committee</p> <p><b>North</b> Page 209</p>	<p>Date</p> <p><b>July 2010</b></p>	

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## Report of the Head of Planning & Enforcement Services

**Address** 3 LONG LANE ICKENHAM

**Development:** Conversion of integral garage to habitable space with new window and wall to front, rebuilding of ground floor front wall to two storey side extension and retention of enlarged dormer window to front elevation.

**LBH Ref Nos:** 64180/APP/2010/330

**Drawing Nos:** 08/277/00  
Design and Access Statement  
08/277/13 Rev. A  
08/277/05 Rev. B  
08/277/12

<b>Date Plans Received:</b>	16/02/2010	<b>Date(s) of Amendment(s):</b>	16/02/2010
<b>Date Application Valid:</b>	22/05/2010		23/02/2010
			01/03/2010
			05/07/2010

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application site is located on the east side of Long Lane near its junction with Glebe Avenue and comprises a two storey detached house with a front projection incorporating a garage with a cat-slide roof above and a front dormer, two storey side extension, front porch, part single and part two storey rear extensions, nearing completion. To the north lies Ickenham Library and to the south lies 1 Glebe Avenue, a detached bungalow with side and rear extensions and a rear dormer window. The street scene comprises a mix of residential properties with commercial units to the south forming part of Ickenham Village Local Shopping Centre. The application site lies within the Ickenham Village Conservation Area, as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

### 1.2 Proposed Scheme

It is proposed to retain the enlarged front dormer, convert the original garage into habitable room with a new front wall and window and alterations to the front wall of the two storey side extension. Planning permission (ref: 64180/APP/2009/666) for two storey side extension, part two storey, part single storey rear extension, front porch and dormer to first floor front was approved on 17-06-2009. The two storey side extension shown on the previously approved plans showed it to be set flush with the front wall of the existing garage. The extension as built is set marginally behind the front wall of the existing

garage and the front dormer has also been increased in width by 900mm over previously approved scheme. Amended plans have been received which show the accurate size of the front dormer as built and the roof plan would suggest that the front wall of the two storey side extension would be brought forward to align with the front wall of the original garage as shown on the originally approved plans. The front elevation plan would indicate that the existing front wall of the garage would be replaced with a new wall with matching materials and a new front window. The previously approved plans showed the front dormer to be in set 2.4m from the roof ridge of the main house and 1.1m from roof eaves of its cat-slide roof. The dormer was shown to measure 1.6m wide, 1.4m high and 1.7m deep. The current application proposal shows the front dormer to measure 2.5m wide and 1.4m high. It would be in set 2.4m from the roof ridge of the main house, 1.1m from roof eaves of its cat-slide roof, 900mm from the inside edge of the roof and 1.0m from the outer edge of the roof. A window with three panes has been installed on the front dormer. The previously approved plans showed a two pane window.

### 1.3 Relevant Planning History

64180/APP/2008/2117 3 Long Lane Ickenham

Two storey front and rear extensions.

**Decision Date:** 19-09-2008 Refused **Appeal:**

64180/APP/2008/514 3 Long Lane Ickenham

ERECTION OF A TWO STOREY SIDE EXTENSION INVOLVING CONVERSION OF EXISTING INTEGRAL GARAGE TO A HABITABLE ROOM, ERECTION OF A PART TWO STOREY/PART SINGLE STOREY REAR EXTENSION, SINGLE STOREY PART FRONT EXTENSION WITH BALCONY AT FIRST FLOOR LEVEL AND INSTALLATION OF A FRONT DORMER WINDOW (INVOLVING DEMOLITION OF EXISTING SINGLE STOREY SIDE EXTENSION).

**Decision Date:** 02-05-2008 Refused **Appeal:**

64180/APP/2009/45 3 Long Lane Ickenham

Part two storey, part single storey rear extension, two storey side extension, front porch and dormer to first floor front.

**Decision Date:** 17-03-2009 Refused **Appeal:**

64180/APP/2009/666 3 Long Lane Ickenham

Two storey side extension, part two storey, part single storey rear extension, front porch and dormer to first floor front.

**Decision Date:** 16-06-2009 Approved **Appeal:**

#### Comment on Planning History

This has been addressed in the main body of the report.

### 2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 14th April 2010

2.2 Site Notice Expiry Date:- 14th April 2010

### 3. Comments on Public Consultations

External:

This application has been accorded statutory site and press publicity as development which is likely to affect the character and appearance of the Ickenham Village Conservation Area. 5 neighbouring properties have been consulted and two letters of objection have been received which state the following:

1. The development is not been built to the approved plans and the side rooflight added is overlooking 1 Glebe Avenue;
2. The planning process has been breached by submitting a retrospective application after building something bigger than that originally approved;
3. Poor workmanship has been applied which has an impact on the neighbour and appearance of the house;
4. Damage has been caused to the trees at site.

Ickenham Residents' Association: No objection to the new/current application. Concern is expressed over transgression of the approved plans which requires investigation.

Ward Councillor: has commented that it has been brought to his attention by the neighbour that there is a new planning application which does not reflect the true plan of what is currently built. This requires investigation and has requested that the application is reported to committee.

Ickenham Conservation Panel: no comments received.

Case officer comments: The points raised by the objectors, Ickenham Residents' Association and Ward Councillor are noted. The council has an enforcement file for this site. This report solely concerns matters covered by the description of development.

Internal:

Conservation Officer:

PROPOSALS: Conversion of integral garage to habitable space with new window to front (amendment to put a larger dormer to the first floor)

Background: The proposed dwelling is a simply detailed detached house, which is prominently located within the Ickenham Village Conservation Area. The property has been given permission for a two storey side and rear extension, following which there have been several complaints and enforcement checks as the extensions were not built in accordance with the approved plans.

Comments: Following previous comments, the agent has confirmed that the slightly recessed section of the front elevation would be altered to be in line with the original garage. Whilst the 3 light dormer is acceptable in principle, it is poorly designed, with wide tile hung cheeks and very poorly built. Given the sensitive and prominent location of the site, it would be unacceptable in this instance.

CONCLUSION: Unacceptable.

Trees/Landscape Officer:

This site is not covered by a TPO, however it is inside Ickenham Village Conservation Area. There are several trees in the front garden of this site, however due to the nature of

the development, the trees are not a constraint. However, the trees are high value, and therefore, the plans should be amended to identify the trees and show them as retained.

Subject to conditions TL1 (to provide species of tree, and to state that they are to be retained only) and TL2, and TL3 the scheme is acceptable in terms of Saved Policy BE38 of the UDP.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
HDAS	Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions (adopted in August 2006 and to form part of the emerging Local Development Framework documents): 7.0-Loft Conversions and Roof Alterations. 8.0-Front Extensions, Porches and Bay Windows.
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

#### **5. MAIN PLANNING ISSUES**

The main issues for consideration relate to the effect of the application proposal on the character and appearance of the original house, this part of the Ickenham Village Conservation Area, residential amenity, trees at site and adequate off street parking.

The alterations to the front wall of the existing two storey side extension would enable it to accord with the originally approved plans and to be set flush with the front elevation wall of the original garage, in compliance with paragraph 5.7 of the HDAS: Residential Extensions. The width of the extension is shown to remain unaltered (as originally

approved) and as such it would not be more than 2/3rds of the width of the application property, in compliance with paragraph 5.10 of the HDAS: Residential Extensions. The rebuilding of the front garage wall (with a new window) and front wall of the two storey side extension is considered to harmonise satisfactorily with the character and appearance of the original house. These modifications are not considered to detract from the character and appearance of this part of the Ickenham Village Conservation Area, street scene and/or the visual amenities of the surrounding area.

Paragraph 7.8 of the HDAS: Residential Extensions recommends that a dormer to detached houses should retain a minimum gap of 1.0m to the ridge, eaves and edges of the roof. The existing front dormer does not achieve the above minimum gap to the inside of the roof edge to the application property and its size and scale is not considered to be subordinate within the front roof plane and does not harmonise satisfactorily with the character and appearance of the extended house. Furthermore, it is poorly designed, with wide tile hung cheeks and very poorly built. Given the sensitive and prominent location of the site, the front dormer is considered to detract from the character and appearance of the existing property, the visual amenities of the Ickenham Village Conservation Area, the street scene and the surrounding locality. This design element of the application proposal would therefore be contrary to policies BE4, BE13, BE15 and BE19 of the saved UDP and the SPD HDAS: Residential Extensions.

The rebuilding and modification works proposed owing to their siting and scale are not considered to harm the amenities of the Library and 1 Glebe Avenue, in terms of overshadowing, visual intrusion and/or over-dominance. The front window on the dormer and front wall of the converted garage would overlook the road and hence, not result in a loss of privacy to the neighbouring properties. The windows on the front dormer and front wall of the garage would provide adequate outlook and daylight to the rooms they would serve. The application would comply with policies BE20, BE21 and BE24 of the saved UDP September 2007, and the London Plan Policy 4A.3.

The application site is located within the Ickenham Village Conservation Area and there are a number of mature trees in the front garden in close proximity to the development proposed. These trees contribute to the appearance of the street scene and this part of the Ickenham Village Conservation Area. The plans submitted with the current application show the location of trees in the front garden of the application property. However, the species of these trees has not been identified. The council's Trees and Landscape officer has recommended appropriate landscape conditions in order to address the above concern, which could be attached if the application were to be approved. The proposal would therefore be in compliance with policy BE38 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

In terms of policy BE23 of the saved UDP September 2007, the application proposal would not impact upon the rear garden space available to the application property.

The conversion of the existing garage would result in loss of a car parking space. However, the existing drive to the application property has adequate depth and width to accommodate two off street parking spaces. This would be in compliance with policy AM14 of the saved UDP September 2007 and the Council's adopted Car Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan Saved Policies September 2007).

## 6. RECOMMENDATION

### REFUSAL for the following reasons:

#### 1 NON2 Non Standard reason for refusal

The front dormer window, by reason of its size, scale, design, appearance and use of materials would be out of character with the existing dwelling and the street scene in general to the detriment of the visual amenity of the street scene and the Ickenham Village Conservation Area, contrary to policies BE4, BE13, BE15 and BE19 of the adopted Unitary Development Plan Saved Policies September 2007 and the adopted Supplementary Planning Document HDAS: Residential Extensions.

## INFORMATIVES

### Standard Informatives

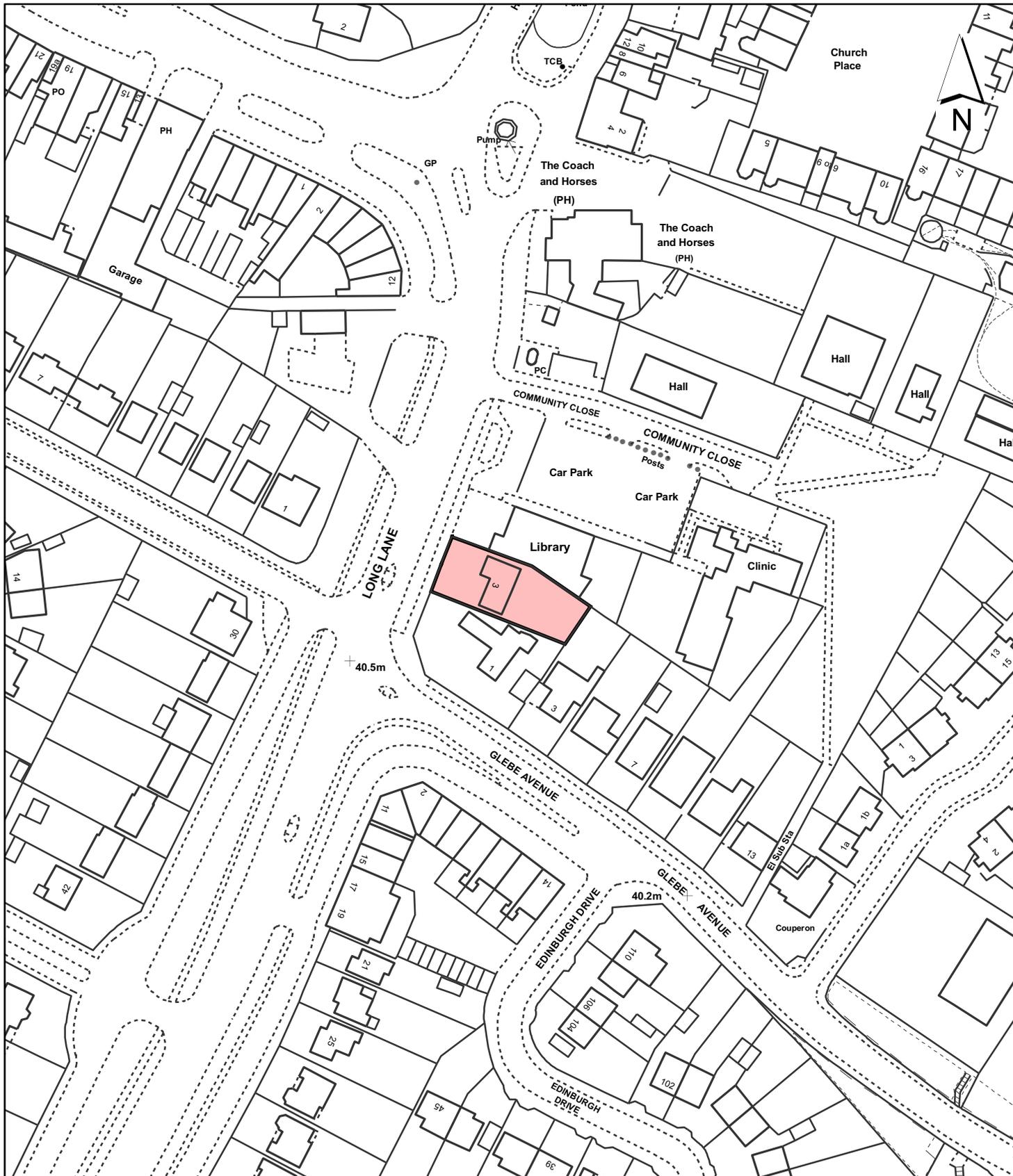
- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
  
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:  
**Policy No.**

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.

HDAS	Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions (adopted in August 2006 and to form part of the emerging Local Development Framework documents): 7.0-Loft Conversions and Roof Alterations. 8.0-Front Extensions, Porches and Bay Windows.
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)

**Contact Officer:** Sonia Bowen

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address	
<b>3 Long Lane Ickenham</b>	
Planning Application Ref:	Scale
<b>64180/APP/2010/330</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 218	<b>July 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 84 & 84A LONG LANE ICKENHAM

**Development:** Erection of a new two storey building with front, side and rear dormer windows comprising of 9 two- bedroom units and 1 one-bedroom unit (involving demolition of two existing buildings.)

**LBH Ref Nos:** 3231/APP/2009/555

**Drawing Nos:** PPSK 001 REVISION A  
Design and Access Statement - Reference 07\_028 revision A  
Renewable Energy Report - Reference 246/1/1  
Environmental Noise Survey - Reference 3109/PPG (Rev 1)  
Arboricultural Impact Assessment Report - Reference KCA/LLN/AIA/02a  
PPSK 006 REVISION D  
PPSK 101 REVISION D  
PPSK 010 REVISION D  
PPSK 011 REVISION D  
PPSK 012 REVISION D  
PPSK 013 REVISION D  
PPSK 100 REVISION D  
PPSK 005 REVISION E

**Date Plans Received:** 18/03/2009      **Date(s) of Amendment(s):** 18/03/2009  
**Date Application Valid:** 18/03/2009      17/06/2009

### 1. SUMMARY

The application seeks full planning permission for the redevelopment of the above site by the erection of a two storey building with accommodation in the roof space, comprising 10 residential units (9 x 2 bed and 1 x 1 bed), involving the demolition of the existing residential care home at 84 Long Lane and dwellinghouse at 84a Long Lane.

There is no objection in principle to the redevelopment of the site for residential purposes and the proposal would add to the housing stock in the borough. The proposal is considered to comply with relevant policies and therefore is recommended for approval subject to a S106 agreement.

### 2. RECOMMENDATION

**That authorisation be given to the Head of Planning and Enforcement to determine the application within a further period of three months from the date of this Committee Meeting, subject to the conditions and informatives agreed by the North Planning Committee on 16 July 2009 and detailed in the Committee report and minutes.**

### KEY PLANNING ISSUES

The current planning application was lodged on the 18th of March 2009 and was reported to the North Planning Committee on the 16th of July 2009. The report is set out below.

The Committee determined to approve the application, subject to the applicant and

**Council entering into a Section 106 Agreement to secure planning obligations for:**

- i) A financial contribution of £14,070 for Education;**
- ii) A financial contribution of £10,000 for Community Facilities;**
- iii) A financial contribution of £345.23 for Libraries;**
- iv) A financial contribution of £1,875 for Construction Training;**
- v) A financial contribution of £3,252.22 towards Health;**
- vi) A financial contribution equal to 5% of the total cash contributions for project management and monitoring;**

**The draft S106 agreement is close to completion. Due to illness on behalf of the applicants' solicitors the S106 agreement could not be completed within the 6 month timeframe given by the North Planning Committees resolution following the 16th July 2009 meeting. As the agreement could not be completed within the timeframe stipulated, it is considered that Committee approval should be sought to enable a further 3 months to complete the agreement and enable a decision notice to be released for the application. The proposal meets an identified housing need and it is considered that the proposed obligations address planning impacts created by the development proposal.**

**Accordingly, approval is recommended, subject to the conditions and informatives contained within the report to the North Planning Committee on 16 July 2009.**

#### **ORIGINAL RECOMMENDATION**

**2.1 That delegated powers be given to the Director of Planning and Community Services to grant planning permission subject to the following:**

**a. That the Council enters into an Agreement with the applicant under S106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/or other appropriate legislation to secure:**

- i) a financial contribution of £14,070 for Education.**
- ii) a financial contribution of £10,000 for Community facilities.**
- iii) a financial contribution of £345.23 for Libraries.**
- iv) a financial contribution of £1,875 for Construction training.**
- v) a financial contribution of £3,252.22 towards Health.**
- vi) a financial contribution equal to 5% of the total cash contributions for project management and monitoring.**

**b. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the Section 106 agreement and any abortive work as a result of the agreement not being completed.**

**c. That officers be authorised to negotiate and agree detailed terms of the proposed agreement.**

**d. If the S106 Agreement has not been finalised within 6 months, the application be referred back to the Planning Committee for determination at the discretion of the**

**Director of Planning and Community Services.**

**2.2. That subject to the above, the application be referred for determination to the Director of Planning and Community Services under delegated powers to approve the application, subject to the satisfactory completion of the legal agreement(s) under Section 106 of the Town and Country Planning Act 1990 as amended and subject to the conditions set out below:**

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 OM1 Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority. Details of the following should be submitted for approval:

- a) Bricks, pointing style and mortar colour
- b) roofing materials
- c) eaves detail
- d) materials, colours and finishes for window frames; design details of rear dormer window and feature window to street elevation at 1:20, 1:10 or to full size as appropriate; colour and finish of glazing
- e) Materials and colour of down pipes and gutters

#### REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **5 M5 Means of Enclosure - details**

Before the development is commenced, details of boundary fencing and other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

#### REASON

To safeguard privacy to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **6 NONSC Non Standard Condition**

Prior to the commencement of works on site, details of acoustic fencing to be erected along the length of the rear garden at No. 82 Long Lane shall be submitted to and approved in writing by the Local Planning Authority. The fencing shall be erected on site prior to the building, the subject of this permission, being brought into use, and thereafter permanently retained.

#### REASON

To safeguard the amenities of the adjoining residential occupier, in accordance with policies OE1 and OE3 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **7 DIS3 Parking for Wheelchair Disabled People**

One parking space for wheelchair disabled occupiers as indicated on the plans hereby approved shall be constructed and marked out prior to occupation of the development and thereafter the parking space shall be permanently retained.

#### REASON

To ensure that people in wheelchairs are provided with adequate car parking and convenient access to building entrances in accordance with Policy AM5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Note: wheelchair users are not the only category of people who require a 'disabled' parking space. A Blue Badge parking space can also be used by people who have a mobility impairment (full-time wheelchair users account for only a small percentage of this category) including elderly people, visually impaired people having a sighted driver, children having bulky equipment such as oxygen cylinders that have to be transported with them, etc.

#### **8 OM14 Secured by Design**

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted to and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, and to reflect the guidance contained in Circular 5/94 'Planning Out Crime' and the Council's SPG on Community Safety By Design.

**9 H14 Cycle Storage - details to be submitted**

No part of the development hereby permitted shall be commenced until details of covered and secure cycle storage for a minimum of 10 cycle spaces, have been submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall not be occupied or brought into use until the approved cycling facilities have been implemented in accordance with the approved plan, with the facilities being permanently retained for use by cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

**10 NONSC contamination**

No contaminated soils or other materials shall be imported to the site. All imported soils for landscaping purposes shall be clean and free of contamination. All imported soils shall be tested for chemical contamination, and the results of this testing shall be submitted and approved in writing by the Local Planning Authority.

REASON

To ensure that the occupants of the development are not subject to any risk from soil contamination in accordance with Policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**11 N1 Noise-sensitive Buildings - use of specified measures**

Development shall not begin until a scheme for protecting the proposed development from road traffic noise has been submitted to and approved in writing by the Local Planning Authority. The noise protection scheme shall meet acceptable noise design criteria both indoors and outdoors. The approved scheme shall thereafter be retained in its approved form for so long as the use hereby permitted remains on the site.

REASON

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic noise in accordance with policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

**12 RPD2 Obscured Glazing and Non-Opening Windows (a)**

The first floor side kitchen window facing No. 82 Long Lane shall be glazed with obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**13 SUS1 Energy Efficiency Major Applications (full)**

The measures to reduce the energy demand and carbon dioxide emissions of the development and to provide 20% of the sites energy needs through renewable energy generation contained within the submitted report entitled Renewable Energy Report with reference 246/1/1 dated 18/03/2009 shall be integrated into the development before any of the units hereby permitted are occupied and thereafter permanently retained and maintained.

**REASON**

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 4A.1, 4A.3, 4A.4, 4A.6, 4A.7, 4A.9, and 4A.10 of the London Plan (February 2008).

**14 SUS5 Sustainable Urban Drainage**

The sustainable urban drainage system as stated on plan with reference PPSK 005 Revision E shall be integrated into the development and thereafter permanently retained and maintained.

**REASON**

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

**15 DIS5 Design to Lifetime Homes Standards & to Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Hillingdon Design and Accessibility Statement: Accessible Hillingdon'.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 3A.13, 3A.17 and 4B.5.

**16 H10 Parking/Turning/Loading Arrangements - Commercial Devs.**

The roads/turning/loading facilities/sight lines and parking areas (including the marking out of parking spaces) shown on the approved plans shall be constructed prior to occupation of the development, thereafter permanently retained and used for no other purpose.

**REASON**

To ensure that the loading, roads, turning facilities and parking areas are satisfactorily laid out on site in accordance with Policies AM3 and AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

**17 NONSC Non Standard Condition**

Before the development hereby permitted commences, details of enclosed and secure refuse collection areas (to be 50% recycling and 50% general waste provision) shall be submitted to and approved in writing by the Local Planning Authority. The enclosures

shall be sited within a maximum distance of 23 metres (10 metres where palladins are employed) from an adopted highway, and 25 metres from any dwelling unit.

#### REASON

To comply with the Hillingdon Design & Accessibility Statement (HDAS) Supplementary Planning Document: "Residential Layouts" (May 2006) and for the convenience of residents in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **18 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **19 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

## REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **20 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure (this should include details of creation of private amenity areas to the ground floor flats),
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

## REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **21 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period.

The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**22 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**23 TL20 Amenity Areas (Residential Developments)**

None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained.

REASON

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (February 2008) Policy 4B.1.

**24 OM13 Demolition Protocols**

The applicant is to prepare a selective programme (or demolition protocol) to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed from the site safely and intact for later re-use or processing, which is to be submitted to the Local Planning Authority prior to the commencement of demolition work.

REASON

To establish an 'audit trail' for demolition materials based on an established Demolition Protocol which will encourage more effective resource management in demolition and new builds, in accordance with London Plan (February 2008) Policies 4A.30 and 4A.31.

**25 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
  - (ii) The hours during which development works will occur.
  - (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
  - (iv) Measures to prevent mud and dirt tracking onto adjoining roads.
  - (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process.
- The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.
- (vi) Measures to avoid peak hour traffic vehicle movements

## REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

## INFORMATIVES

### **1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

LPP 3A.2	London Plan Policy 3A.2 - Borough Housing Targets
LPP 3A.3	London Plan Policy 3A.3 - Maximising the potential of sites
LPP 3A.5	London Plan Policy 3A.5 - Housing Choice
LPP 3A.9	London Plan Policy 3A.9 - Affordable Housing Targets
LPP 3A.11	London Plan Policy 3A.11 - Affordable Housing Thresholds
LPP 3C	Chapter 3C of the London Plan - Connecting London, improving travel in London
LPP 4A.20	London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
LPP 4A.7	London Plan Policy 4A.7 - Renewable Energy
LPP 4A.1	London Plan Policy 4A.1 - Tackling Climate Change
LPP 4A.4	London Plan Policy 4A.4 - Energy Assessment
LPP 4A.6	London Plan Policy 4A.6 - Decentralised Energy: Heating, Cooling and Power
LPP 4A.9	London Plan Policy 4A.9 - Adaptation to Climate Change
LPP 4A.10	London Plan Policy 4A.10 - Overheating
LPP 4A.12	London Plan Policy 4A.12 - Flooding
LPP 3A.13	London Plan Policy 3A.13 - Special needs and specialist housing
LPP 3A.17	London Plan Policy 3A.17 - Addressing the needs of London's diverse population
LPP 4B.1	London Plan Policy 4B.1 - Design principles for a compact city.
LPP 4B.5	London Plan Policy 4B.5 - Creating an inclusive environment.
BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to

	neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE5	Siting of noise-sensitive developments
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS	Council's Parking Standards Council's Supplementary Planning Guidance - Community Safety by Design Council's Supplementary Planning Guidance - Noise Council's Supplementary Planning Document - Planning Obligations Council's Supplementary Planning Document - Access Hillingdon Council's Supplementary Planning Document - Residential Layout

### **3            I1                    Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **4            I19                    Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.  
Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

### **5            I15                    Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays or Bank Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**6**            I23A            **Re-instatement of a Vehicle Access.**

You are advised by London Borough of Hillingdon, Highways Management, that any works on the Highway, in relation to the reinstatement of the existing vehicle access, must be carried out with approval from the Highway Authority. Failure to reinstate an existing vehicle access will result in the Highway Authority completing the works, and the developer may be responsible for the costs incurred. Enquiries should be addressed to: Highways Maintenance, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

**7**            I2            **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

**8**            I3            **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**9**            I5            **Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

**10**          I6            **Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

## 11

The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Council's central CCTV system.

## 12 I58 Opportunities for Work Experience

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please refer to the enclosed leaflet and contact Peter Sale, Hillingdon Education and Business Partnership Manager: contact details - c/o British Airways Community Learning Centre, Accommodation Lane, Harmondsworth, UB7 0PD. Tel: 020 8897 7633. Fax: 020 897 7644. email: p.sale@btconnect.com.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application site has an area of 0.16ha and comprises a two storey residential care home at 84 Long Lane known as Woodlands and a two storey dwelling house at 84a Long Lane. Both properties are of traditional pitched roof design. The site is served by an existing vehicular access from Long Lane between the two properties which provide access to a car parking area at the rear of No.84a. The site has a frontage to Long Lane of approximately 29 metres and a depth of approximately 53 metres and lies within the Ickenham Village Conservation Area.

The area immediately surrounding the site is predominately residential comprising a mixture of two storey semi detached and detached houses with the exception of the adjacent Douay Martyrs Lower School to the south of the site. The site has a Public Transport Accessibility Level (PTAL) score of 2 on a scale of 1 to 6 where 6 is the highest level of accessibility.

#### 3.2 Proposed Scheme

Full planning permission is sought for the erection of a two storey building with a second floor accommodation in the roof space comprising 9 two-bedroom flats and 1 one-bedroom flat with associated parking, access and landscaping. The proposal would result in the demolition of the existing residential care home at 84 Long Lane and a dwellinghouse at No.84a. The demolition works require separate Conservation Area Consent. This is the subject of a separate report on this agenda.

The proposed two storey building would be located at the front of the site set approximately 11 to 12 metres from the Long Lane frontage. The proposed building incorporates a hipped roof with front, side and rear dormer windows. Vehicular access to

the development would be via the existing northern access from Long Lane. A total of 13 parking spaces are provided on site, with 12 spaces at the rear and 1 space at the front to be used by a disabled user.

The applicant has submitted a Design and Access Statement and a number of other technical reports with the application. These are briefly described below:

**Design and Access Statement:**

This report outlines the proposed development and site context and describes how the scheme addresses design, access, sustainability and security issues.

**Arboricultural Constraints Report:**

This report provides an arboricultural impact assessment of the proposed development and identifies any conflicts between the proposal and tree constraints identified in the survey contained in the report.

**Noise Assessment:**

This report sets out details of a noise assessment of the site and the sound insulation requirements of the building envelope of the proposed development.

**Energy Statement:**

This report provides details of the renewable energy sources for the development and how it meets the target for 20% carbon emission reduction for the entire site.

### 3.3 Relevant Planning History

3231/APP/2008/501      Woodlands, 84 & 84a Long Lane Ickenham  
ERECTION OF A THREE STOREY BUILDING COMPRISING 12 TWO-BEDROOM FLATS  
AND A TWO-STOREY BUILDING CONTAINING 2 TWO-BEDROOM SEMI-DETACHED  
HOUSES

**Decision:** 20-06-2008      Withdrawn

3231/APP/2009/556      84 & 84a Long Lane Ickenham  
Demolition of two existing buildings (Application for Conservation Area Consent.)

**Decision:**

3231/K/76/1551      84 84a      Long Lane Ickenham  
Continued use as guest house.

**Decision:** 08-02-1977      Approved

3231/M/85/1176      84 84a      Long Lane Ickenham  
Change of use from guest house to residential care home and extensions to property.

**Decision:** 04-10-1985    Approved

#### **Comment on Relevant Planning History**

The application for the Conservation Area Consent (Reference 3231/APP/2009/556) is the subject of a separate report on this agenda.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.10        To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.16        To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.
- PT1.17        To seek to ensure the highest acceptable number of new dwellings are provided in the form of affordable housing.
- PT1.39        To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

- LPP 3A.2        London Plan Policy 3A.2 - Borough Housing Targets
- LPP 3A.3        London Plan Policy 3A.3 - Maximising the potential of sites
- LPP 3A.5        London Plan Policy 3A.5 - Housing Choice
- LPP 3A.9        London Plan Policy 3A.9 - Affordable Housing Targets
- LPP 3A.11       London Plan Policy 3A.11 - Affordable Housing Thresholds
- LPP 3C            Chapter 3C of the London Plan - Connecting London, improving travel in London
- LPP 4A.20       London Plan Policy 4A.20 - Reducing Noise and Enhancing Soundscapes
- LPP 4A.3        London Plan Policy 4A.3 - Sustainable Design and Construction.
- LPP 4A.7        London Plan Policy 4A.7 - Renewable Energy
- LPP 4A.1        London Plan Policy 4A.1 - Tackling Climate Change
- LPP 4A.4        London Plan Policy 4A.4 - Energy Assessment
- LPP 4A.6        London Plan Policy 4A.6 - Decentralised Energy: Heating, Cooling and Power
- LPP 4A.9        London Plan Policy 4A.9 - Adaptation to Climate Change
- LPP 4A.10       London Plan Policy 4A.10 - Overheating
- LPP 4A.12       London Plan Policy 4A.12 - Flooding
- LPP 3A.13       London Plan Policy 3A.13 - Special needs and specialist housing
- LPP 3A.17       London Plan Policy 3A.17 - Addressing the needs of London's diverse population

LPP 4B.1	London Plan Policy 4B.1 - Design principles for a compact city.
LPP 4B.5	London Plan Policy 4B.5 - Creating an inclusive environment.
BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE5	Siting of noise-sensitive developments
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS	Council's Parking Standards Council's Supplementary Planning Guidance - Community Safety by Design Council's Supplementary Planning Guidance - Noise Council's Supplementary Planning Document - Planning Obligations Council's Supplementary Planning Document - Access Hillingdon Council's Supplementary Planning Document - Residential Layout

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **6th May 2009**

5.2 Site Notice Expiry Date:- **6th May 2009**

6th May 2009

## 6. Consultations

### External Consultees

The application was advertised as a major development under Article 8 of the Town and Country Planning (General Development Procedure) Order 1995 and as a development affecting the character or appearance of a conservation area under Planning (Listed Building and Conservation Areas) Act 1990. In addition, 59 residential occupiers, Ickenham Conservation Area Conservation Panel and Ickenham Residents' Association were consulted.

10 objections have been received, raising the following concerns:

- i) size of development is inappropriate for Long Lane;
- ii) Increase in traffic;
- iii) Insufficient on-site parking;
- iv) Privacy from windows on the side elevation and terrace on the third floor;
- v) No provision for school medical centre, playing areas;
- vi) Should remain as old peoples home as there is an increasing amount of old people in Ickenham;
- vii) Out of keeping with Conservation Area;
- viii) Inadequate amenity space;
- ix) Dangerous conditions for pedestrians and school children;
- x) The vehicular access way would impact No.82.

### ICKENHAM RESIDENTS' ASSOCIATION

The design is so much better than the previous application that it will match in with the existing houses, but are concerned about the amount of traffic passing the side boundary with No. 82 immediately adjacent, heading for parking spaces at the rear of the site of Nos. 84 and 84A.

Could consideration be given to a central drive way through the flats at ground level to minimise inconvenience to No. 82.

### ENGLISH HERITAGE

The present proposal is not considered to have an affect on any significant archaeological remains. The new build is mainly contained within the footprint of the existing buildings and there are no significant find spots from the immediate vicinity. Therefore any requirement for pre- or post-determination archaeological assessment/evaluation of this site in respect to the application would be waived.

ENVIRONMENT AGENCY - No objection.

### Internal Consultees

#### POLICY:

#### Land-use

There are two key issues that need to be addressed in establishing the principal for the proposal. First is the loss of the care home and second, the suitability of the proposed housing scheme.

#### Loss of the Nursing Home

Saved Policy R11 provides the key policy context. The need for nursing home accommodation

should continue to be met within the locality either through existing need providers or through replacement accommodation.

#### Residential Use

The principle of residential use for the site has already been established subject to the proposal meeting site specific requirements.

#### Density

London Plan Policy 4B.3 seeks to maximise the potential of site. The site is in a suburban area with a PTAL of 2. The scheme would result in a density of 61 units per hectare and 177 habitable rooms per hectare. This would meet the London Plan guidelines of 50-95 units per hectare and 150-250 habitable rooms per hectare.

#### Housing Mix

The provision of 1 and 2 bed units should meet the requirement of Policy H4.

#### Renewable Energy

The renewable Energy Statement has identified that a solar thermal system could achieve a 16% carbon emission with the remaining 4% being met through solar photovoltaic delivering 20% carbon emission reduction. This would meet London Plan Policy.

### CONSERVATION AND URBAN DESIGN

There are no objections to the demolition of the existing buildings. The design of the proposed building has been revised to reflect the general scale and silhouette of the buildings of the surrounding area. Whilst larger in footprint than the existing adjacent residential property at No.82, its location adjacent to the school, which has a large footprint and wide frontage, means the new building would not be overly prominent in the streetscene. There are also other residential properties with wide frontages, although possibly not quite as wide as the proposal, within this part of the Conservation Area.

### TREES AND LANDSCAPING

The site is not covered by any Tree Protection Order. However, it lies within the Ickenham Village Conservation Area. There are several trees, shrubs, on and close to the site, which are protected by virtue of its location within the Conservation Area.

The applicant has submitted an Arboricultural Implications Assessment, including tree survey, tree constraints plan and tree protection plan.

The proposal has been amended in order for additional landscaping on site to be accommodated, particularly at the front of the site.

There are no objections to the proposal subject to the planning conditions.

### ENVIRONMENTAL PROTECTION

#### Noise

Acoustic Report reference 3109/PPG (Rev 1) entitled 'Environmental Noise Survey & PPG24 Assessment Report' produced by RBA Acoustics states that the overall site falls within Noise Exposure Category C of PPG24.

The daytime equivalent continuous noise level was found to be 65dB, placing it in the lower Category C. Additionally the night-time noise was found to be 60dB, which also places the site

within lower Category C. Based on the results of the noise assessment, the requirements of the Borough's Noise SPD can be met using a combination of noise mitigation measures.

#### Contamination

No former uses of concern were identified at the site or in the immediate vicinity of the site. The ground conditions at the site are unknown, but as there does not appear to be a change of use, the risk is considered to be low.

If there is a possibility that soils will be imported for landscaping as part of the development, then it is recommended that a condition be attached to the application.

#### TRANSPORTATION

The site has a PTAL value of 2. The proposal is for nine 2 bed and one 1 bed units.

Parking is provided at a ratio of 1.3 per unit and is acceptable. The maximum permissible under the Council's standards is 1.5 spaces per unit. The site access is existing and with the front boundary not more than 1.0m in height provides adequate sight lines. No objections are raised on highway grounds.

#### ACCESS OFFICER

The proposal provides sufficient floor space and/or structural arrangement to allow one of the units to be fully accessible at ground floor level. A suitable planning condition should ensure scheme complies with 'Lifetime Homes' standards.

### **7. MAIN PLANNING ISSUES**

#### **7.01 The principle of the development**

The site is located within the Developed Area as identified on the Proposals Map of the Unitary Development Plan. The principle of the loss of the existing care home must be viewed in the context of new care home provision benefiting from outline planning application at the RAF West Ruislip site (80 beds) and other smaller sites in the Ruislip area close to Long Lane in Ickenham. Hence it is not considered that the loss of the residential care home could be justified as a refusal reason, in particular given the proposed replacement with 10 flats. Furthermore, the current operators work closely with other operators within the area which could facilitate the existing residents, if so required.

#### **7.02 Density of the proposed development**

The proposed scheme would have a density of 61 units per hectare or 177 habitable rooms per hectare. Having regard to the site's Public Transport Accessibility Level (PTAL) score of 2, the scheme would comply with the London Plan Guidelines (50-95 units per hectare or 150-250 habitable rooms per hectare). Therefore, the proposed density is appropriate with regard to Policy 3A.3 of the London Plan.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

##### CONSERVATION AREA

Policy BE4 of the Unitary Development Plan Saved Policies seeks to ensure that developments within or on the fringes of conservation areas preserve or enhance those features which contribute to their special architectural and visual qualities.

Ickenham Village Conservation was designated in 1970. Historically, Ickenham developed around St Giles' Church at the junction of the Uxbridge, Ruislip and Hillingdon Roads.

The proposed building reflects the general scale and character of the buildings of the

surrounding site. There are other residential properties with wide frontages within this part of the Conservation Area and therefore the visual impact of the width of the building within the streetscene is appropriate. In addition, as it is adjacent to school buildings, the proposal would not seem overly prominent in the streetscene.

The chosen materials for the proposal have been amended to include plain clay tiles and red stock facing brick. This is appropriate and consistent with the surrounding buildings and the Conservation Area.

The existing buildings do not contribute to the character or appearance of the conservation area. It is not considered that the proposed building would have a positive contribution to the conservation area.

In summary, the proposal is considered to be appropriate development in the Conservation Area and complies with Policy BE4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### ARCHAEOLOGY

The application site lies within an Archaeological Priority Area. English Heritage were consulted and did not consider that the proposal would have an affect on any significant archaeological remains, as the new build is mainly contained within the footprints of the existing buildings.

#### **7.04 Airport safeguarding**

Not applicable to this application

#### **7.05 Impact on the green belt**

Not applicable to this application

#### **7.06 Environmental Impact**

Not applicable to this application

#### **7.07 Impact on the character & appearance of the area**

Policies BE13, BE19 and BE21 of the Unitary Development Plan Saved Policies September 2007 seek to limit the effect of development on the character and amenity of established residential areas and the existing streetscene.

The proposal is set back, on average, 12m from the highway and the building is approximately 18m wide. The appearance of the building has been enhanced during the application process.

The wide frontages of the dwellinghouses generally found in this part of the Conservation Area and to the school adjacent to the application site, means that the proposal would not appear overly dominant in the streetscene. The proportion and the bulk of the proposed residential flats are appropriate and are considered to harmonise with the existing streetscene and the character of the established residential area.

The proposal is therefore considered to comply with relevant policies and is acceptable within the existing residential streetscene.

#### **7.08 Impact on neighbours**

Policy BE19 of the Unitary Development Plan Saved Policies seeks to ensure that new development within residential areas complements or improves the amenity and character of the area. Policies BE20, BE21 and BE24 require that new development adequately protects the privacy, provision of daylight and sunlight to, and residential amenity of

existing properties.

In addition, the Hillingdon Design and Access Statement (HDAS) Supplementary Planning Document provides further guidance on the protection of residential amenity including a minimum separation distance between habitable room windows of 21m and the maintenance of a 45 degree line to ensure the retention of adequate sunlight to, and outlook from, adjoining dwellings.

The rear wall of the two storey building would be sited approximately 6 metres in from the side boundary and 4 metres behind the ground floor rear wall of the adjoining property to the north of the site at No.82 Long Lane. Whilst the building does not breach the 45 degree line from the ground floor window of No.82 Long Lane, it does breach this line in relation to the first floor rear window. However, the breach is considered to be minor and given the separation distance of the proposed building from this window, the impact would be minimal. In addition, there are mature trees within the rear garden of No.82, adjacent to the affected window which would screen the proposed development. Furthermore, the existing building at No.84 already breaches the 45 degree line from both ground and first floor level windows and therefore, given the circumstances, the proposal is considered to be an improvement to the current situation and does not warrant refusal on this ground. The proposed scheme would comply with other relevant minimum distances between buildings.

In relation to privacy and overlooking issues, the scheme has been amended to omit balconies on the rear elevation. The proposal includes habitable windows on the side elevations, however they do not result in privacy or overlooking to the neighbouring properties. The bedroom window on the first floor level is sited so that there will be no direct overlooking into any neighbouring windows and faces the flank wall of No.82. It should also be noted that there is a tree screen on that boundary. One other window is a secondary window and is at a high level (it is conditioned to be obscured glazed below a height of 1.8m above finished floor level), so there will not be any direct overlooking from this window.

In relation to the proposed vehicular access and the location of parking spaces, there have been concerns raised in relation to their location adjacent to No 82. However, the scheme includes a landscape buffer of approximately 2 metres plus along the side boundary and is the same layout as currently existing for No 84a. Acoustic fencing can also be provided as part of new boundary treatments. Therefore, the proposal would have minimal impact on No.82 in terms of noise and general disturbance.

In terms of the impact on adjoining occupiers the proposal is considered to be appropriate and complies with relevant policies and is not considered to have any significant impact on the living conditions of the occupiers of neighbouring properties.

#### **7.09 Living conditions for future occupiers**

Policy BE23 of the Unitary Development Plan Saved Policies requires the provision of external amenity space which is sufficient to protect the amenity of the development and surrounding buildings, and which is usable in terms of its shape and siting. In addition, the Hillingdon Design and Accessibility Statement (HDAS) Supplementary Planning Document seeks to ensure that an adequate amount of conveniently located amenity spaces is provided in new residential developments.

The total amount of private amenity space (including private amenity space for the ground floor flats) would be approximately 483sq.m. This would be above the guidance in the

Hillingdon Design and Accessibility Statement Residential Layouts Supplementary Planning Document (SPD) which recommends a minimum of 25sq.m for 2 bedroom flats and 20sq.m for 1 bedroom flats, which would equate to a requirement of 245sq.m for the proposed development. It is likely that the ground floor flats would utilise their own dedicated amenity space and first floor flats and above can use the rear communal space of 268sq.m.

The proposal provides suitably sized and usable amenity space which is acceptable standard of residential amenity for the future residents.

In accordance with the Residential Layout SPD the proposal would provide more than the minimum internal floor areas. The Council's Residential Layout SPD suggests that a flat with 1 bedroom should provide a minimum of 50sq.m and 63sq.m for 2 bedroom flats. The proposed 2 bedroom flats have internal floor spaces ranging from 63sq.m to 68sq.m and the one bedroom provides 62sq.m. The proposal would therefore provide satisfactory internal living conditions for future occupiers.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposed vehicular access is to remain the same as the existing access with improved visibility. Therefore, the proposal would benefit from the development which would provide better visibility on this part of Long Lane.

In respect of car parking provision, communal parking would be provided at a rate of 1.3 spaces per unit. A total provision of 13 spaces, including a wheelchair accessible space at the front, is provided onsite. This level of parking is considered acceptable with the site's low public transport accessibility level of 2. The proposed site layout indicates the provision for cycle storage for 10 cycles at the rear and the location is acceptable.

The onsite parking and cycle provision complies with relevant policies and is supported by the Council's Highway Engineer.

#### **7.11 Urban design, access and security**

Good design is central to all objectives of the London Plan and the Hillingdon's Unitary Development Plan. The Conservation Officer's comments on the scheme are included in section 6.0 above and detailed design considerations in the Conservation Area are addressed in section 7.03 of this report. In general the scheme is considered to be of good quality in terms of urban design and the layout and appearance of the proposal harmonises with the existing street scene.

In terms of security, the scheme is generally considered to be acceptable in designing out crime. The proposed building has been designed to incorporate visible main entrance which addresses the street which would provide natural surveillance and interaction with the main street. The on-site parking and rear amenity space areas also benefits from natural surveillance from the residents and there are no design features which would encourage crime, i.e. areas for hiding and areas which are not highly visible from public areas. The proposal is therefore considered to be appropriately designed from a crime prevention point of view and accords with Policy BE18 of Unitary Development Plan Saved Policies 2007.

#### **7.12 Disabled access**

Policy 3A.5 of the London states that Boroughs should ensure that all new housing is built to 'Lifetime Homes' standards and that 10% of new housing is designed to be wheelchair accessible or easily adaptable for residents who are wheelchair users. The Council's Access officer has advised that the proposal provides sufficient floor space or structural arrangement for one of the units to be fully accessible at the ground floor level. A suitable

planning condition is included to ensure that 'Lifetime Homes' standard is met for all units.

#### **7.13 Provision of affordable & special needs housing**

Policy 3A.9 of the London Plan states that UDP policies should set an overall target for the amount of affordable housing over the relevant plan period taking into account, amongst other things, the Mayor's strategic target for affordable housing provision that 50% of provision should be affordable and, within that, the London wide objective of 70% social housing and 30% intermediate provision and the promotion of mixed and balanced communities. The 50% of provision applies to proposals with no greater than 10 net additional units.

The proposal would provide for 10 residential units, and the application site previously had 1 residential dwellinghouse. The proposal is below the threshold as it results in a net gain of 9 additional units, for securing affordable housing under Policy 3A.11 of the London Plan. Therefore, no affordable housing is sought from the development as the proposed development.

#### **7.14 Trees, Landscaping and Ecology**

Policy BE38 of the Unitary Development Plan requires development proposals to retain and utilise topographical and landscape features of merit and provide new planting and landscaping wherever it is appropriate. The Council's Trees and Landscape officer is satisfied with the proposal and recommends further landscape plans be submitted and approved as part of a condition, along with other appropriately worded conditions to be attached to any planning permission.

#### **7.15 Sustainable waste management**

The proposal includes an appropriate area for refuse and recycling storage provision. It is suitably located within close proximity to the collection points and from residential units. A suitably worded condition is attached requiring 50% recycling and 50% waste provision.

#### **7.16 Renewable energy / Sustainability**

Policy 4A.7 of the London Plan (Renewable Energy) requires major development to show how the development would generate a proportion of the site's electricity or heat needs from a renewable source, wherever feasible.

In line with advice from the Greater London Authority, the Council requires major development to meet 20% of energy needs from renewable sources. The proposed development includes solar thermal panels and Photovoltaic panels to provide for the site's heating and energy needs. The solar thermal systems are sized to supply over 16% reduction in carbon emissions and the remaining 4% will be provided by the solar Photovoltaic panels. The proposal will therefore meet the 20% target as set by the London Plan.

#### **7.17 Flooding or Drainage Issues**

There are no flooding constraints for the site. In relation to drainage, the proposal will connect into the existing sewers.

#### **7.18 Noise or Air Quality Issues**

Policy OE3 of the UDP states that buildings which have the potential to cause noise annoyance will only be permitted if the impact is mitigated within acceptable levels.

The submission has been accompanied by a noise report prepared by an acoustic consultant, which concludes:

- The results of noise monitoring indicate that the façade worst affected by traffic noise from the adjacent Long Lane and falls within Noise Exposure Category C, as defined in PPG 24, during both the daytime and night-time periods.

- Suitable internal noise level within the proposed development can be achieved and suitable external building material should be chosen as a mitigation measure.

The Council's EPU officer is satisfied that the requirements of the Borough's Noise SPD can be met using a combination of noise mitigation measures which can be secured through suitably worded planning conditions.

Accordingly, it is considered that the development would result in an appropriate noise environment for both neighbouring and future occupiers, subject to the conditions specified in the recommendation.

In relation to Air Quality, the application site is not within any Air Quality Management Area and therefore the air quality on site would be suitable for future occupiers.

#### **7.19 Comments on Public Consultations**

The objections raised by local residents are covered in the main body of the report.

#### **7.20 Planning Obligations**

The proposed development will result in an increased population, which will in turn increase demand on local services and facilities. Policy R17 of the Council's Unitary Development Plan requires the Council to supplement the provision of recreation open space, facilities to support arts, cultural and entertainment activities and other community, social and education facilities through planning obligations in conjunction with other development proposals.

The Council's Section 106 Officer has advised that the development will increase demands on local facilities and infrastructure. In line with the Council's Planning Obligations SPD contributions should be sought to improve these facilities to meet the increased demands of the development. The contributions should be as follows:

Education: £14,070 to provide for nursery and primary school places.

Health: £3252.22 to provide for local surgery expansion.

Community Facilities: £10,000 towards community facilities.

Libraries contribution: £345.23 to provide for improved local library facilities.

Construction training: £1875.00 for construction and training

Project Management and Monitoring fee: 5% of the total contributions to ensure appropriate management and monitoring of the obligations mentioned above.

The applicant has agreed to these contributions, which will be secured through the completion of an appropriate legal agreement. No, objection is raised to the proposal subject to receipt of a finalised legal agreement.

#### **7.21 Expediency of enforcement action**

Not applicable

#### **7.22 Other Issues**

No other issues.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it

unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

#### **9. Observations of the Director of Finance**

The report indicates that the costs of the development will be fully met by the applicant, and the applicant will make a contribution to the Council towards associated public facilities. The developer will also meet all reasonable costs of the Council in the preparation of the Section 106 agreement and any abortive work as a result of the agreement not being completed. Consequently, there are no financial implications for this Planning Committee or the Council.

#### **10. CONCLUSION**

The proposed development for 10 residential units provides satisfactory residential accommodation for future residents in terms of the requirements set out within the Hillingdon Design and Accessibility Statement whilst maintaining an appropriate environment for neighbouring occupiers. The proposed design, scale and bulk does not undermine the character, appearance and setting of the Ickenham Conservation Area and the visual amenity of the existing street scene.

The proposal would add to the housing stock within the borough and would comply with relevant policies within the Unitary Development Plan therefore the proposal is recommended for approval, subject to S106 agreement and planning conditions.

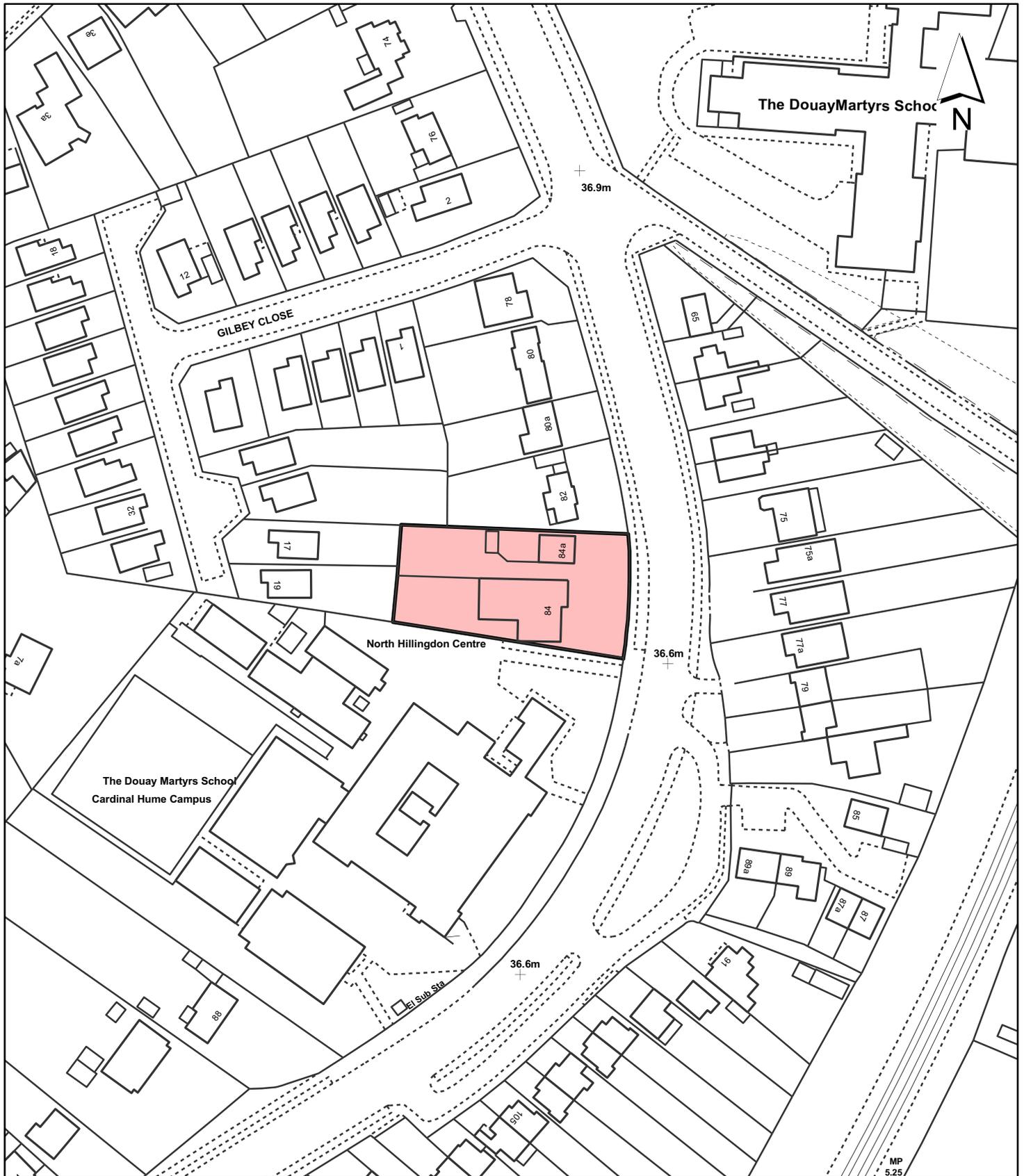
#### **11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies September 2007  
The London Plan February 2008  
PPS1 - Delivering Sustainable Development  
PPG15 - Planning and Historic Environment  
PPS22 - Renewable Energy  
PPG24 - Planning and Noise  
Council's Parking Standards  
Council's Supplementary Planning Guidance - Community Safety by Design  
Council's Supplementary Planning Guidance - Noise

Council's Supplementary Planning Document - Planning Obligations  
Council's Supplementary Planning Document - Access Hillingdon  
Council's Supplementary Planning Document - Residential Layout

**Contact Officer:** Jane Jin

**Telephone No:** 01895 250230



**Notes**

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Site Address	
<b>84 &amp; 84A Long Lane Ickenham</b>	
Planning Application Ref:	Scale
<b>3231/APP/2009/555</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 245	<b>July 2009</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** 111 WEST END ROAD RUISLIP MIDDX

**Development:** Installation of vehicular crossover to front.

**LBH Ref Nos:** 63665/APP/2010/1034

**Drawing Nos:** Location Plan to Scale 1:1250  
VCDK137822 Received 23rd June 2010

**Date Plans Received:** 06/05/2010                      **Date(s) of Amendment(s):** 23/06/2010

**Date Application Valid:** 20/05/2010

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application site is located on the east side of West End Road and comprises a semi-detached bungalow. There is a footway and small grass verge in front of the property and a leylandii conifer in close proximity to the site, but situated within the boundaries of the adjoining property. The street scene is residential in character and appearance comprising and the application site lies within developed area, as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

### 1.2 Proposed Scheme

The application, as amended, seeks planning permission for the installation of a crossover to the front of the dwelling. The crossover has been amended and moved to a more central position at the site to ensure satisfactory visibility is provided.

### 1.3 Relevant Planning History

63665/APP/2008/984                      111 West End Road Ruislip Middx

CONVERSION OF ROOFSPACE TO HABITABLE ACCOMMODATION INVOLVING CONSTRUCTION OF SIDE AND REAR DORMERS (APPLICATION FOR A CERTIFICATE OF LAWFULNESS FOR A PROPOSED USE OR DEVELOPMENT).

**Decision Date:** 14-05-2008                      Refused                      **Appeal:**

#### Comment on Planning History

None

## 2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

### 3. **Comments on Public Consultations**

#### EXTERNAL:

10 adjoining owner/occupiers and the Ruislip Residents' Association consulted, one letter received objecting to the proposal on the following grounds:

- i) The proposal will reduce the on-street parking available to resident of Ruislip Court, on West End Road, where currently permit parking is not available;
- ii) Notification of the application was not received and a site notice was not properly displayed;
- iii) Work is continuing on the site prior to the expiry of the consultation period;
- iv) Approval of the application could be perceived as an unfair advantage to a councillor when existing residents have lived longer in the area and would not be able to park close to their own residence.

Officer Comments: Point (i) this is covered in the main report; Point (ii) Adjoining occupiers were consulted by letter and there is no legal requirement to display a site notice; Point (iii) Work in connection with the proposal under consideration does not appear to have commenced; and Point (iv) The application has been considered on its own merits and against the Council's policies and standards. The identity of the applicant is irrelevant.

#### INTERNAL:

Highways Officer:

The proposals are acceptable subject to the following conditions and informatives being applied:

#### Conditions

1. The use of the land for vehicle parking shall not be commenced until the area has been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority and shall be permanently maintained and available for the parking of vehicles at all times thereafter to the Authority's satisfaction.
2. The use of the land for vehicle parking shall not be commenced until the means of vehicular access has been constructed in accordance with the approved plans.
3. The access for the proposed car parking shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

#### Informatives

1. It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.
2. The applicant is advised to contact the Council's Highways Team in respect of the

construction of the vehicle crossover.

Trees and Landscape Officer: No objection.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
HDAS	Residential Extensions - Section 11.0

#### **5. MAIN PLANNING ISSUES**

The main issues for consideration are impact on street scene and highway safety.

Highway safety

The proposed crossover, in terms of its width and position is considered to be acceptable and would allow sufficient visibility to comply with Council standards. There would be access to one parking space which in terms of its size and layout complies with Council standards.

The proposed crossover would result in the loss of one on-street parking space. However, at present the applicant parks on-street. The loss of one on-street space would be compensated by the gain in an off-street space, thus there would be no net loss of parking and the precedent of vehicle crossovers on this stretch of West End Road is well established. Furthermore, there are no parking restrictions in the vicinity of the site and sufficient on-street space would still be available.

The Council's highways officer does not object to the application and considers the proposal to be acceptable.

Street scene

Policies BE13 and BE19 of the UDP saved policies September 2007 refer to the importance of development not being detrimental to the character of the area and the Council's Supplementary Planning Document (SPD) HDAS: Residential Extensions, section 11 provides further guidance on front gardens and parking. At Paragraph 11.2 the SPD states that in altering the parking layout at least 25% of the front garden should be maintained for planting and soft landscaping. The proposal would retain approximately 70% of the frontage area for planting/soft landscaping. The proposal is considered to comply with policies BE13 and BE19 of the UDP saved policies September 2007.

## 6. RECOMMENDATION

### APPROVAL subject to the following:

**1** HH-T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

**2** HH-OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

#### REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3** NONSC Non Standard Condition

The use of the land for vehicle parking shall not be commenced until the area has been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority and shall be permanently maintained and available for the parking of vehicles at all times thereafter.

#### REASON

To ensure that the vehicular access and parking areas are satisfactorily laid out on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4** NONSC Non Standard Condition

The use of the land for vehicle parking shall not be commenced until the means of vehicular access has been constructed in accordance with the approved plans.

#### REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5** NONSC Non Standard Condition

The access for the proposed car parking shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

#### REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

## INFORMATIVES

- 1 It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.
- 2 The applicant is advised to contact the Council's Highways Team in respect of the construction of the vehicle crossover.

### Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:
 

**Policy No.**

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
HDAS	Residential Extensions - Section 11.0
- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the

Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control,  
3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODP, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with

British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO<sub>2</sub>) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

**Contact Officer:** James Stone

**Telephone No:** 01895 250230



**Notes**

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Site Address

**111 West End Road  
Ickenham**

Planning Application Ref:

**63665/APP/2010/1034**

Planning Committee

**North** Page 254

Scale

**1:1,250**

Date

**July 2010**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** LAND FORMING PART OF 327 VICTORIA ROAD RUISLIP  
**Development:** Erection of a two storey attached dwellinghouse with double garage to rear  
**LBH Ref Nos:** 54831/APP/2010/171  
**Drawing Nos:** 1318/02 Rev. B  
1318/03  
Flood Risk Assessment

**Date Plans Received:** 29/01/2010 **Date(s) of Amendment(s):**

**Date Application Valid:** 17/06/2010

### 1. SUMMARY

The proposal is for an attached property adjacent to the existing properties in the street. It is considered that adequate space has been provided around the dwelling and that the bulk and design of the proposal would not result in a dominant or discordant feature in the street scene or the wider area, and therefore no undue harm would result.

It is further noted, that this scheme is identical to that approved by applicants 54831/APP/2000/445 and 54831/APP/2004/2788 (amendment/revision to 54831/APP/2000/445) for the erection of an attached two storey 3-bedroom dwelling. As such, it is considered that the siting and impact of a dwelling in this position has been established by these previous approvals. This current application is therefore recommended for approval subject to the provision of a s106 agreement.

### 2. RECOMMENDATION

**That delegated powers be given to the Head of Planning and Enforcement to grant planning permission, subject to the following:**

**a) That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) to secure:**

- i. The use of the new house as a single family dwelling house;**
- ii. The use of the remaining existing building as a single family dwelling house;**
- iii. The removal of the existing garage buildings to the rear;**
- iv. The use of the proposed double garage for use by the occupiers of the existing and proposed dwellings, with each house being allocated half of the double garage;**
- v. A contribution equal to 5% of the total cash contribution towards the management and monitoring of the resulting agreement.**

**b. That the applicant meets the Council's reasonable costs in the preparation of the Section 106 agreement and any abortive work as a result of the agreement not being completed.**

**c. That the officers be authorised to negotiate the terms of the proposed agreement.**

**d. That, if the S106 agreement is not completed by the 12/08/2010 that, under the discretion of the Head of Planning and Enforcement, the application is refused under delegated powers on the basis that the applicant has refused to address planning obligation requirements.**

**e. That if the application is approved, the following conditions be attached:**

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 OM1 Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5 OM5 Provision of Bin Stores**

No development shall take place until details of facilities to be provided for the covered, secure and screened storage of refuse/recycling bins within the site have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**6 RPD1 No Additional Windows or Doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 327 Victoria Road.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**7 RPD5 Restrictions on Erection of Extensions and Outbuildings**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no extension to any dwellinghouse(s) nor any garage(s), shed(s) or other outbuilding(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

So that the Local Planning Authority can ensure that any such development would not result in a significant loss of residential amenity in accordance with policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**8 RPD9 Enlargement to Houses - Roof Additions/Alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no addition to or enlargement of the roof of any dwellinghouse shall be constructed.

REASON

To preserve the character and appearance of the development and protect the visual amenity of the area and to ensure that any additions to the roof are in accordance with policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**9 M5 Means of Enclosure - details**

Before the development is commenced, details of boundary fencing or other means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved means of enclosure shall be erected before the development is occupied and shall be permanently retained thereafter.

REASON

To safeguard privacy to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**10 H7 Parking Arrangements (Residential)**

The development hereby approved shall not be occupied until the means of vehicular access has been constructed and parking area has been laid out, surfaced and drained

in accordance with details first submitted to, and approved in writing by, the Local Planning Authority and shall be permanently maintained and available for the parking of vehicles at all times thereafter.

#### REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

#### **11 RPD6 Fences, Gates, Walls**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no fences, gates or walls shall be erected to the front of the property other than those expressly authorised by this permission.

#### REASON

To protect the open-plan character of the estate in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **12 SUS4 Code for Sustainable Homes details (only where proposed as**

No development shall take place until an initial design stage assessment by an accredited assessor for the Code for Sustainable Homes and an accompanying interim certificate stating that each dwelling has been designed to achieve level 3 of the Code has been submitted to, and approved in writing, by the local planning authority. No dwelling shall be occupied until it has been issued with a final Code certificate of compliance.

#### REASON

To ensure that the objectives of sustainable development identified in policies 4A.1 and 4A.3 of the London Plan (February 2008).

#### **13 SUS5 Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

#### REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 4A.14 of the London Plan (February 2008) /if appropriate/ and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), policies 4A.12 and 4A.13 of the London Plan (February 2008) and PPS25.

#### **14 NONSC 'Lifetime Homes' Standards**

The dwelling hereby permitted shall be built in accordance with 'Lifetime Homes' Standards, as set out in the Council's Supplementary Planning Document 'Hillingdon Design and Accessibility Statement: Accessible Hillingdon'. No development shall take place until plans and/or details to demonstrate compliance with the standards have been submitted to and approved in writing by the local planning authority. The development shall thereafter be constructed in accordance with the approved details.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (February 2008) Policies 3A.5, 3A.13, 3A.17 and 4B.5.

## INFORMATIVES

### 1 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### 2 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
OE5	Siting of noise-sensitive developments
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Layouts Residential Extensions
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
LPP 4B.5	London Plan Policy 4B.5 - Creating an inclusive environment.
LPP 3A.5	London Plan Policy 3A.5 - Housing Choice

### 3 I1 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### 4 I2 **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

## **5            13                    Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

## **6            15                    Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

## **7            16                    Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

## **8            115                    Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health

nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application site comprises 327 Victoria Road, which is an end terrace property, currently in use as HMO accommodation. The site enjoys a corner position and is located on the northeast side of Victoria Road, with Whitby Road on the northwest flank boundary. The site has an angled boundary line with the front of the site narrower than the back. There are two detached double garages at the rear of the site.

The majority of the houses in the surrounding area are terraced, although the rear gardens of some of these corner plots have been developed with semi-detached properties. The site lies within the Developed Area as identified in the Hillingdon Unitary Development Plan (UDP) (Saved Policies September 2007).

#### **3.2 Proposed Scheme**

Planning permission is sought for the erection of an attached two-storey 3 bedroom dwelling, to the end of the existing row of terraced properties, and a double garage to the rear (involving the demolition of the existing two storey side extension and the ancillary buildings to the rear).

The proposed dwelling would be 4.7m wide at the front, but once a depth of 2.65m has been reached the dwelling would be a width of 4.95m. The property would be 10.2m deep, involving a 2m deep projection in relation to the rear building line of the existing property. The dwelling would be finished with a hipped roof, 5.6m high at the eaves and 8.6m high at the ridge, although the rear facing gable would be at the lower level of 7.5m.

Off-street parking spaces would be provided towards the rear of the site, with a shared double garage, this would provide two spaces for the existing dwelling and two for the new dwelling. The double garage would be 6.7m wide and 6m deep and would be finished with a flat roof at a maximum height of 2.8m.

#### **3.3 Relevant Planning History**

54831/APP/2000/445 Land Forming Part Of 327 Victoria Road Ruislip

ERECTION OF A TWO STOREY SIDE EXTENSION TO FORM NEW DWELLINGHOUSE, USE OF EXISTING BUILDING AS A SINGLE FAMILY DWELLINGHOUSE AND ERECTION OF ONE DOUBLE GARAGE TO THE REAR (INVOLVING DEMOLITION OF PART OF EXISTING BUILDING AND TWO EXISTING DOUBLE GARAGES)

**Decision:** 05-01-2004 Approved

54831/APP/2004/1421 Land Forming Part Of 327 Victoria Road Ruislip

CONVERSION OF ROOF SPACE WITH SMALL REAR DORMER AND FRONT ROOF LIGHT (APPLICATION FOR A CERTIFICATE OF LAWFULNESS FOR A PROPOSED USE OR DEVELOPMENT)

**Decision:** 19-07-2004 Refused

54831/APP/2004/2788 Land Forming Part Of 327 Victoria Road Ruislip

ERECTION OF TWO STOREY REAR EXTENSION (AMENDMENT TO PLANNING APPLICATION REF:54831/APP/2000/445 DATED 05/01/2004: ERECTION OF A TWO STOREY SIDE EXTENSION TO FORM NEW DWELLINGHOUSE, USE OF EXISTING BUILDING AS A SINGLE FAMILY DWELLINGHOUSE AND ERECTION OF ONE DOUBLE GARAGE TO THE REAR (INVOLVING DEMOLITION OF PART OF EXISTING BUILDING AND TWO EXISTING DOUBLE GARAGES)

**Decision:** 01-04-2005 Approved

#### **Comment on Relevant Planning History**

Planning application ref: 54831/APP/2000/445 for the erection of a two storey attached dwelling was approved on the 05/01/2004, this approval was subject to a legal agreement to secure:

- the use of the new house as a single family dwelling house
- the use of the remaining existing building as a single family dwelling house
- The removal of the existing garage buildings to the rear
- The use of the proposed double garage for use by the existing occupiers of the existing and proposed dwellings, with each house being allocated half of the double garage

A subsequent application (54831/APP/2004/2788) was approved on 04/04/2005, this application sought to revise the original proposal by the introduction of a 2 storey, 2m deep rear projection, all other matters remained the same.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- |      |   |
|------|---|
| BE13 | New development must harmonise with the existing street scene.        |
| BE15 | Alterations and extensions to existing buildings                      |
| BE19 | New development must improve or complement the character of the area. |
| BE20 | Daylight and sunlight considerations.                                 |
| BE21 | Siting, bulk and proximity of new buildings/extensions.               |
| BE22 | Residential extensions/buildings of two or more storeys.              |
| BE23 | Requires the provision of adequate amenity space.                     |

BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
OE5	Siting of noise-sensitive developments
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS	Residential Layouts Residential Extensions
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction.
LPP 4B.5	London Plan Policy 4B.5 - Creating an inclusive environment.
LPP 3A.5	London Plan Policy 3A.5 - Housing Choice

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

16 adjoining neighbours and interested parties consulted, one response received, which made the following comment:

1. I would like to know how they will park all four of the vehicles, if they are going to convert the existing three spaces into two garages - they should have a minimum of 2 spaces per dwelling.

### **Internal Consultees**

Trees and Landscape Officer: As there are no trees on or close to the site and there is no need for landscaping, saved policy BE38 is not relevant to the application and there is no need for tree or landscape related conditions.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The proposal is located within the 'developed area' as identified in the UDP (Saved Policies September 2007) and within a residential area. Thus, there is no objection in principle to additional housing in this location subject to its compliance with the Council's policies and standards.

### **7.02 Density of the proposed development**

Given that the proposal is for a single dwelling only, the overall density of development is not the major factor in determining the proposal.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application

### **7.04 Airport safeguarding**

The site is not within an airport safeguarding area.

#### **7.05 Impact on the green belt**

Not applicable to this application

#### **7.06 Environmental Impact**

Not applicable to this application

#### **7.07 Impact on the character & appearance of the area**

Policy BE13 of the Adopted Hillingdon UDP (Saved Policies, September 2007) states that development will not be permitted if the layout and appearance fail to harmonise with the existing street scene and BE19 states that the LPA will seek to ensure that new development within residential areas compliments or improves the amenity and character of the area.

The adopted Supplementary Planning Document (SPD): Residential Layouts: Section 3.4 states this type of development must seek to enhance the character of the area. Section 4.10 of the SPD explains careful consideration should be given to the height of new buildings and the surrounding building lines, as a general rule the front and rear building lines should be a guide for the siting of new dwellings.

With regard to design Policy BE22 states that development of two or more stories should be set away a minimum of 1m from the side boundary for the full height of the building. This is to protect the character and appearance of the street scene and protect the gaps between properties and the proposal complies with this advice showing 1m to the side boundary. Section 4.27 of the SPD Residential Extensions states, careful consideration should be given to building lines, and these should relate well to the existing street pattern. The main frontage of the dwelling would use the same building line as the adjacent properties and the scheme would not breach the return building line of the adjoining Whitby Road (due to the angle that Whitby Road takes in relation to this development). With regard to the rear building line, whilst this would be 2m deeper than that of the existing property, it is not considered to have an adverse affect due to the limited depth proposed and the position of the habitable room windows on existing properties. The design of the dwelling is considered to reflect that of the existing properties in the street scene, including its size, shape, roof form, and the proposed fenestration details. As such the proposal is considered to result in a uniform addition to this row of terrace properties, which is the predominant character of this part of Victoria Road and therefore, would be considered to be in-keeping with the appearance of the existing property and the wider area. The proposed development would therefore result in an appropriately designed development and is considered to comply with Policies BE13 and BE19 of the Adopted Unitary Development Plan (UDP) (Saved Policies September 2007).

#### **7.08 Impact on neighbours**

With regard to the impact on the amenities on the adjoining occupiers, in relation to the proposed new dwelling, Sections 4.9 of the SPD: Residential Layouts, states all residential developments and amenity space should receive adequate daylight and sunlight, including habitable rooms and kitchens. The daylight and sunlight available to adjoining properties should be adequately protected. Where a two or more storey building abuts a property or its garden, adequate distance should be maintained to overcome possible over-domination and 15m will be the minimum acceptable distance. This proposal would comply with this advice with the nearest property to the rear situated over 25m away. Furthermore, due to the proposed siting of the dwelling, using the same front building line and with a 2m deep rear projection of the established rear building line (which would not project beyond a 45 degree line of sight from the nearest habitable room of the same) and

having a roof at a matching height, the proposed house is not considered to result in a significant increase in over-dominance, visual intrusion or overshadowing over and above the current situation.

As such, it is considered that the proposal would not result in a material loss of residential amenity and therefore would accord with policies BE20 and BE21 of the UDP (Saved Policies September 2007).

With regard to loss of privacy, the openings shown in the flank wall of the proposed new dwelling would face the public highway on this boundary, and therefore would not result in a material loss of privacy to any adjoining properties. With regard to the proposed rear facing windows of the new dwelling, there would be over 25m to the residential boundary of the property to the rear of the site (2 Whitby Road) and therefore the proposal would comply with the required 21m minimum distance to avoid overlooking concerns. Subject to suitable safeguarding conditions the proposal is considered to comply with policy BE24 of the UDP (Saved Policies September 2007).

#### **7.09 Living conditions for future occupiers**

Section 4.7 of the SPD: Residential Layouts, states careful consideration should be given in the design of the internal layout and that satisfactory indoor living space and amenities should be provided. The proposed internal floor space for the new dwelling would be over 86m<sup>2</sup>. The SPD states the minimum amount of floor space required for a 3-bedroom two storey house would be 81m<sup>2</sup> and therefore the proposal would comply with this advice.

With regard to the size of the amenity space, the SPD: Residential Layouts: Section 4.15 states that three bedroom properties should have a garden space of at least 60m<sup>2</sup>. The layout plans show an area of over 100m<sup>2</sup> provided for the new dwelling and over 70m<sup>2</sup> left for the existing property. As such the proposal would comply with Policy BE23 of the UDP (Saved Policies September 2007) and the SPD: Residential Layouts.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

This scheme is identical to a scheme approved in 2000 and revised in 2004. The plans show the provision of 4 parking spaces, two in the proposed double garage and a further 2 in front of the garage. As such, the proposed parking layout would comply with the council's adopted standards. However, as considered on the previously approved application, it was recommended that the parking spaces for both properties (existing and proposed) are retained in perpetuity for the sole use of those dwellings and tied under a Section 106 agreement to secure this. It is not considered that matters have changed since this previous scheme and as such, subject to the completion of a legal agreement the proposal is considered to comply with policies AM7 and AM14 of the UDP (Saved Policies, September 2007).

#### **7.11 Urban design, access and security**

As above

#### **7.12 Disabled access**

The proposed floor plans show the provision of WC facilities at ground floor level and that the dwelling would exceed the minimum floor space standards. It is therefore considered if a permission were to be issued a condition is applied requiring the dwelling to be constructed to Lifetime Homes Standards. As such, the proposal is considered to comply with the intentions of Policy 3A.4 and 3A.5 of the London Plan and the Council's Accessible Hillingdon SPD January 2010.

#### **7.13 Provision of affordable & special needs housing**

The proposal does not meet the threshold to require the provision of this type of housing.

#### **7.14 Trees, Landscaping and Ecology**

The Trees and Landscape Officer considers that, as there are no trees on or close to the site saved policy BE38 is not relevant to the application and there is no need for tree or landscape related conditions. Therefore the proposal is considered to comply with Policy BE38 of the Hillingdon Unitary Development Plan (Saved Policies, September 2007).

#### **7.15 Sustainable waste management**

Section 4.40 - 4.41 of the SPD: Residential layouts deals with waste management and specifies bin stores should be provided for, and wheelie bin stores should not be further than 9m from the edge of the highway. No details have been supplied in this respect, however, it is considered should permission be agreed a condition is applied to require the submission of these details together with their implementation before the development is commenced.

#### **7.16 Renewable energy / Sustainability**

The SPD: Residential Layouts: Section 4.9 states, each habitable room should have an outlook and source of natural light and the proposal would comply with this advice and with Policy 4A.3 of the London Plan (2008).

#### **7.17 Flooding or Drainage Issues**

The site is within Flood zone 2, however, the Environment Agency do not object to the proposal subject to compliance with its standing advice, and the application meets these requirements.

#### **7.18 Noise or Air Quality Issues**

Not applicable to this application

#### **7.19 Comments on Public Consultations**

The issue raised is covered in the parking/traffic section above.

#### **7.20 Planning Obligations**

Presently S106 contributions for education are sought for developments when the net gain of habitable rooms exceeds six. The development would result in a net gain of 3 habitable rooms and therefore no contribution would be sought in this instance.

The existing property on this site is currently being used as HMO type accommodation. There are 2 large un-sightly double garage buildings to the rear of the site, with areas of hardstanding in front of these. These buildings and associated hardstandings cover a large area of the rear curtilage to the existing property. The previously approved planning application on this site (54831/APP/2000/445) for the erection of a two storey attached dwelling was approved subject to a legal agreement to secure:

- The use of the new house as a single family dwelling house
- The use of the remaining existing building as a single family dwelling house
- The removal of the existing garage buildings to the rear
- The use of the proposed double garage for use by the existing occupiers of the existing and proposed dwellings, with each house being allocated half of the double garage

It is recommended a new agreement covering the same points is applied to this application.

#### **7.21 Expediency of enforcement action**

Not applicable to this application

#### **7.22 Other Issues**

None

## **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **9. Observations of the Director of Finance**

Not applicable to this application

## **10. CONCLUSION**

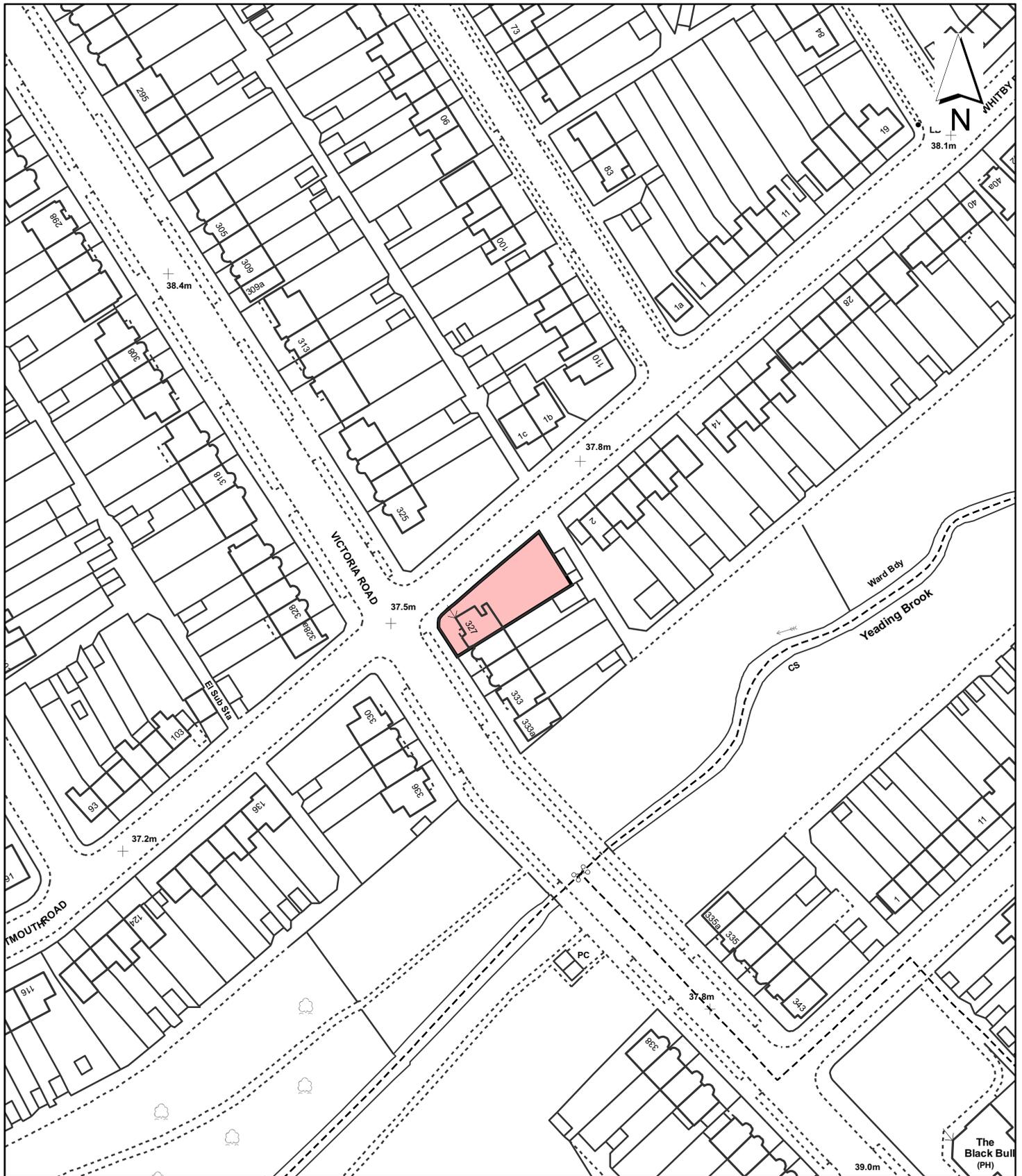
The proposal comprises the erection of an attached dwelling on a corner plot to be applied to the end of a row of existing terraced properties. It is considered the design of the proposed dwelling would not be out of keeping with the existing properties in the street scene, with similar roof pitches and fenestration details. Furthermore, due to the building lines, together with the size and bulk, it is not considered that the development would result in a dominant or discordant feature, and therefore no undue harm would result to the street scene or the wider area if the proposal received consent. Therefore, subject to the completion of a legal agreement the proposal is recommended for approval.

## **11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies September 2007  
HDAS: Residential Layouts and Accessible Hillingdon  
The London Plan (2008)  
Consultee and Neighbour responses

**Contact Officer:** Catherine Hems

**Telephone No:** 01895 250230



**Notes**

 Site boundary  
For identification purposes only.

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Site Address	
<b>Land forming part of 327 Victoria Road Ruislip</b>	
Planning Application Ref:	Scale
<b>54831/APP/2010/171</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 268	<b>July 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 20 JOEL STREET NORTHWOOD

**Development:** Change of use from retail (Class A1) to cafe (Class A3)

**LBH Ref Nos:** 66826/APP/2010/358

**Drawing Nos:** 02  
Design & Access Statement  
01  
Plan 2

**Date Plans Received:** 23/02/2010      **Date(s) of Amendment(s):**

**Date Application Valid:** 18/03/2010

### DEFERRED ON 15th July 2010 .

Members will recall that this application was reported to the Committee meeting of the 15th July 2010. Members at this meeting indicated that they may wish to approve the application and requested a list of possible conditions. These conditions are set out below as is the original report.

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

#### REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3. The premises shall only be used for the preparation or sale of food and drink, between the hours of 08:00 and 23:30. There shall be no staff allowed on the premises outside these hours.

#### REASON

To safeguard the residential amenity of the occupiers and nearby properties, in accordance with Policies OE1 and OE3 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

4. The premises shall not be used for deliveries and collections, including waste collections other than between the hours of 08:00 and 18:00, Mondays to Fridays, 08:00 to 13:00 Saturdays and not at all on Sundays and Bank and Public Holidays.

#### REASON

To safeguard the amenity of surrounding areas, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the

London Plan (February 2008).

5. Development shall not commence until details of access to building entrances and w.c. facilities (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved in writing by the Local Planning Authority. The approved facilities should be provided prior to the occupation of the development and shall be permanently retained thereafter.

**REASON**

To ensure that people with disabilities have adequate access to the development in accordance with Policy R16 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan Policies (February 2008) Policies 3A.13, 3A.17 and 4B.5.

6. The development shall not begin until a sound insulation scheme for the control of noise transmission to the adjoining dwellings/premises has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied/use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

**REASON**

To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 4A.20 of the London Plan (February 2008).

7. Prior to the commencement of works on site, full details of the provision to be made for the secure and covered storage of refuse and recycling shall be submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided on site prior to the premises being brought into use and thereafter maintained.

**REASON**

To ensure satisfactory provision is made for the storage of waste and recycling, in the interests of maintaining a satisfactory standard of amenity in the locality, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

8. No development shall take place until details of the height, position, design and materials of a chimney or extraction vent and any air conditioning equipment to be provided in connection with the development have been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out until the vent/chimney has been installed in accordance with the approved details. Thereafter the vent/chimney shall be permanently retained and maintained in good working order for so long as the use continues.

**REASON**

In order to safeguard the amenities of adjoining properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

9. No chimney or extraction vent and any air conditioning equipment shall be used on the premises until a scheme for the control of noise and vibration emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied/use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

## REASON

In order to safeguard the amenities of adjoining properties in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### 1. SUMMARY

Planning permission is sought for the change of use of the premises from retail to a restaurant/cafe within Use Class A3. It is considered that the proposed change of use will harm the vitality and attractiveness of the Northwood Hills Town Centre as the proposed use would further erode the retail character and function of the shopping centre and would result in an over concentration of non-shop uses within this part of the primary frontage.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

#### 1 NON2 Non Standard reason for refusal

The proposed loss of the retail units would further erode the retail function and attractiveness of the primary shopping area of the Northwood Hills Town centre, to the detriment of its vitality and viability. The proposal is therefore contrary to Policy S11 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### 2 NON2 Non Standard reason for refusal

The proposal would result in a concentration of non-retail uses within this part of the primary shopping frontage which would be detrimental to the vitality and viability of the Northwood Hills Shopping Centre. The proposal is therefore contrary to Policy S11 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

## INFORMATIVES

#### 1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### 2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE28	Shop fronts - design and materials
OE1	Protection of the character and amenities of surrounding properties and the local area
S6	Change of use of shops - safeguarding the amenities of shopping

	areas
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM14	New development and car parking standards.
AM7	Consideration of traffic generated by proposed developments.
S11	Service uses in Primary Shopping Areas

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application relates to the ground floor of a 3 storey mid terrace property situated on the west side Joel Street, close to its Junction with Pinner Road. The ground floor of the property is currently vacant but formerly comprised a costcutter retail outlet.

The application site lies within the primary shopping centre of the Northwood Hills Town Centre, as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### 3.2 Proposed Scheme

The application seeks permission to change the use of the ground floor from retail use within Class A1 of the Town & Country Planning Use Classes Order 1987, as amended, to Restaurant/Cafe within Class A3.

The application involves internal alterations to the layout to create a seated cafe area and counter to the front and toilet facilities and a food preparation area to the rear.

External alterations are also proposed in the form of a new shopfront with a glazed frontage with central double doors and red lettering featuring the name of the cafe on the glass.

Advertisements are also proposed, however an application for advertisement consent has not been submitted and in the event of an approval an informative could be included advising the applicants of the need for advertisement consent.

#### 3.3 Relevant Planning History

##### Comment on Relevant Planning History

None

### 4. Planning Policies and Standards

#### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13            New development must harmonise with the existing street scene.

BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE28	Shop fronts - design and materials
OE1	Protection of the character and amenities of surrounding properties and the local area
S6	Change of use of shops - safeguarding the amenities of shopping areas
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM14	New development and car parking standards.
AM7	Consideration of traffic generated by proposed developments.
S11	Service uses in Primary Shopping Areas

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

55 neighbouring residents and businesses and the Northwood Hills Residents Association consulted. Three replies received objecting to the proposal on the following grounds:

- i) There are sufficient cafes and restaurants in The Broadway/Joel Street;
- ii) The Broadway needs a variety of viable businesses not more of the same;
- iii) There is a problem with fly tipping and vermin already;
- iv) The proposed cafe is in front of a zebra crossing so there are no facilities for deliveries or customer parking;
- v) Tables and chairs outside will cause problems for the old and disabled.

### **Internal Consultees**

Waste Strategy:

- a) The plan does not appear to indicate a space for a bulk bin. The intended business is a restaurant/takeaway so I would recommend 1 x 1,100 litre bulk bin to provide sufficient storage capacity for waste arising from this type of business.
- b) An extra bin of the smaller dimensions should be considered to contain dry recyclable waste from the premises.
- c) The surface of the bin storage area should be even and level, with an appropriate coating, for ease of cleaning and washing.
- d) The collectors should not have to cart the bulked bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard). This would be possible if the collection vehicle could access the alleyway leading off Windsor Close or the business presented the bin at an agreed location on collection day.
- e) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20.

Environmental Protection Unit:

No objections subject to conditions relating to operating hours, air extraction systems, control of noise from the site, litter and deliveries.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

Paragraph 8.24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) defines primary shopping areas as areas which are the focus of retail activity in the centres and are either already generally dominated by retail shops or are areas which the Local Planning Authority considers have prime retail potential. Paragraph 8.26 states that as a guideline, the Council will normally seek to prevent a separation or an increase in the separation of class A1 units of more than approximately 12m which is broadly the width of two typical shop fronts. Class A1 shops should remain the predominant use in primary areas and the Local Planning Authority will expect at least 70% of the frontage to be in class A1 use.

Policy S11 establishes that the change of use from class A1 to non-class A1 uses in primary frontages is acceptable where there remains adequate retail facilities to accord with the character and function of the shopping centre in order to maintain the vitality and viability of the town centre, but that such changes of use should be limited to uses within Classes A2, A3, A4 and A5.

The Council's most recent shopping survey, undertaken in July 2009, shows that retail uses within class A1 within the primary frontage of the Northwood Hills Town Centre is at 51.5%. It is acknowledged that the application unit is vacant. However it is not known whether attempts have been made to let the units as retail units. Notwithstanding this, the application premises have the potential to provide retail uses to maintain the retail character, variety and choice in the town centre. As such, the loss of the application premises would further erode the retail character, vitality and viability of the Northwood Hills Town Centre.

The application unit is flanked by non-retail uses, with No.18 being in use as a mini-cab office (sui generis use) and No.22 being in use as a restaurant. The loss of the application property would result in a 19.5m long break in the retail frontage. On this basis, the proposed change of use would result in an unacceptable concentration of non-retail uses to the detriment of the vitality and viability of the town centre.

Overall, it is considered that the proposed change of use will harm the vitality and attractiveness of Northwood Hills Town Centre as the proposed use would further erode the retail character and function of the shopping centre and would result in an over concentration of non-shop uses within this part of the primary frontage, contrary to policy S11 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

### **7.02 Density of the proposed development**

This is not applicable to this application.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

This is not applicable to this application.

### **7.04 Airport safeguarding**

This is not applicable to this application.

### **7.05 Impact on the green belt**

This is not applicable to this application.

### **7.06 Environmental Impact**

This is not applicable to this application.

#### **7.07 Impact on the character & appearance of the area**

Policy BE28 states that new shop fronts will only be permitted where their design and materials harmonise with the architectural composition of individual buildings or improve the character of the area.

The Council's Supplementary Planning Document HDAS: Shopfronts provides guidance on the design of shop fronts and forms part of the development plan. This states that to respect its context a shop front should be proportionate and relate well to the building facade, the fabric and the features of the building above, in terms of materials, colours and appropriate size and extent of advertising material.

The shop front design and proposed materials would be in context with the architectural form of the building. It would be predominantly glazed with an awning and would be modest in appearance, this is considered to be an improvement on the existing shopfront which is in a state of disrepair and the proposed shopfront would not have a harmful impact on the overall appearance of the street scene.

The proposed development is, therefore considered to be acceptable and would not have a harmful impact on the character of the building or the surrounding street scene in accordance with policies BE13, BE15 and BE28 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and the Council's Supplementary Planning Document HDAS: Shopfronts.

#### **7.08 Impact on neighbours**

In terms of assessing the effects of the proposal on residential amenity, the relevant factors are those of noise, smell and disturbance. The nearest residential properties lie above the application premises. No details of mechanical equipment such as air conditioning units have been submitted. It is considered that planning conditions requiring details of the mechanical equipment, the installation of appropriate sound attenuation and insulation between floors and the imposition of limitations on hours of operation and deliveries would be sufficient to maintain the residential amenity of the occupiers of adjoining and nearby residential properties, should planning permission be granted. The proposal would therefore comply with policies OE1 and S6 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### **7.09 Living conditions for future occupiers**

This is not applicable to this application.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

No off-street parking spaces are associated with the application site. The application site has a PTAL score of 3 and on street parking is available with restrictions at certain times of the day to discourage commuter parking. The nearest underground station, Northwood Hills, is within easy walking distance. Given this it is not considered that the proposal would result in undue on-street parking.

#### **7.11 Urban design, access and security**

See Section 7.

#### **7.12 Disabled access**

The proposed cafe would have double glazed doors to the frontage to allow access for wheelchair users and a disabled access toilet area.

#### **7.13 Provision of affordable & special needs housing**

This is not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

This is not applicable to this application.

**7.15 Sustainable waste management**

This is not applicable to this application.

**7.16 Renewable energy / Sustainability**

This is not applicable to this application.

**7.17 Flooding or Drainage Issues**

This is not applicable to this application.

**7.18 Noise or Air Quality Issues**

The proposed use could be restricted in terms of its opening hours by way of condition, which would limit the impact on adjoining residential properties in terms of noise and thus the proposed use as a cafe would not create a significant increase in noise and would not harm amenity.

**7.19 Comments on Public Consultations**

Points i), ii) and iv) are covered in the main report. Point iii) is not a planning matter and with regards to point v) the proposal does not involve the provision of tables and chairs outside.

**7.20 Planning Obligations**

This is not applicable to this application.

**7.21 Expediency of enforcement action**

This is not applicable to this application.

**7.22 Other Issues**

None

**8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or

other status'.

**9. Observations of the Director of Finance**

This is not applicable to this application.

**10. CONCLUSION**

For the reasons outlined above and that the proposal would be contrary to the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007), this application is recommended for refusal.

**11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies (September 2007)

**Contact Officer:** Eleanor Western

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**20 Joel Street  
Northwood**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**66826/APP/2010/358**

Scale

**1:1,250**

Planning Committee

**North** Page 278

Date

**June 2010**



**HILLINGDON**  
LONDON

By virtue of paragraph(s) 1 of Part 1 of Schedule 12A  
of the Local Government (Access to Information) Act 1985 as amended.

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By virtue of paragraph(s) 1 of Part 1 of Schedule 12A  
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# Plans for North Planning Committee

5th August 2010



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**Report of the Head of Planning & Enforcement Services**

**Address** UXBRIDGE GOLF COURSE THE DRIVE ICKENHAM

**Development:** Remodelling works to Golf Course, consisting of re-contouring of existing land form using imported inert soils, together with extensive landscaping and associated drainage. (Appendices to the Construction Management Plan and the addendum to the Ecological Impact Assessment, Biodiversity Mitigation, Management and Monitoring Plan and the Water Management Plan.)

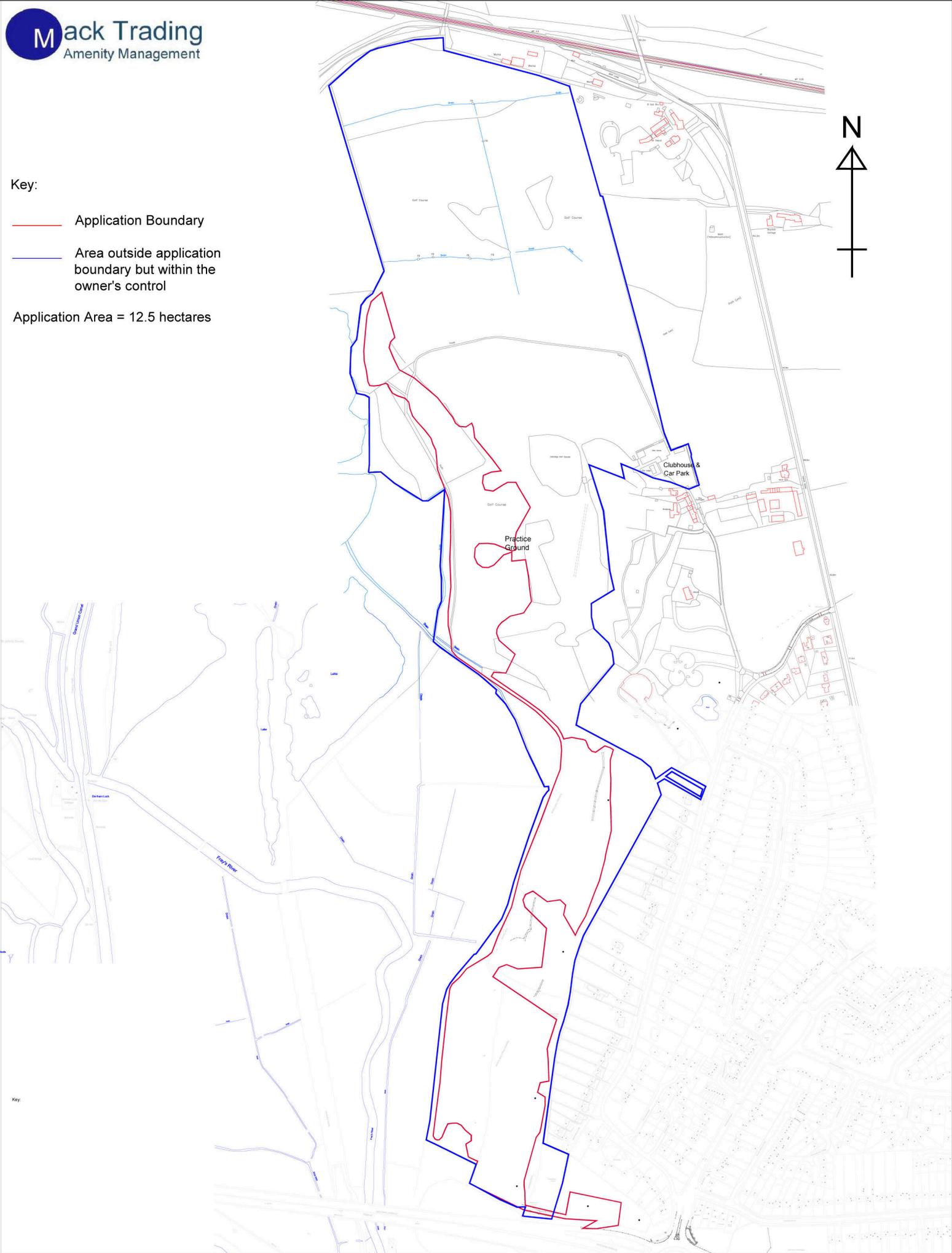
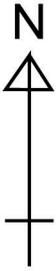
**LBH Ref Nos:** 4601/APP/2010/1103

<b>Date Plans Received:</b>	26/04/2010	<b>Date(s) of Amendment(s):</b>	21/05/0010
<b>Date Application Valid:</b>	21/05/2010		11/06/0010
			21/07/2010
			22/07/2010

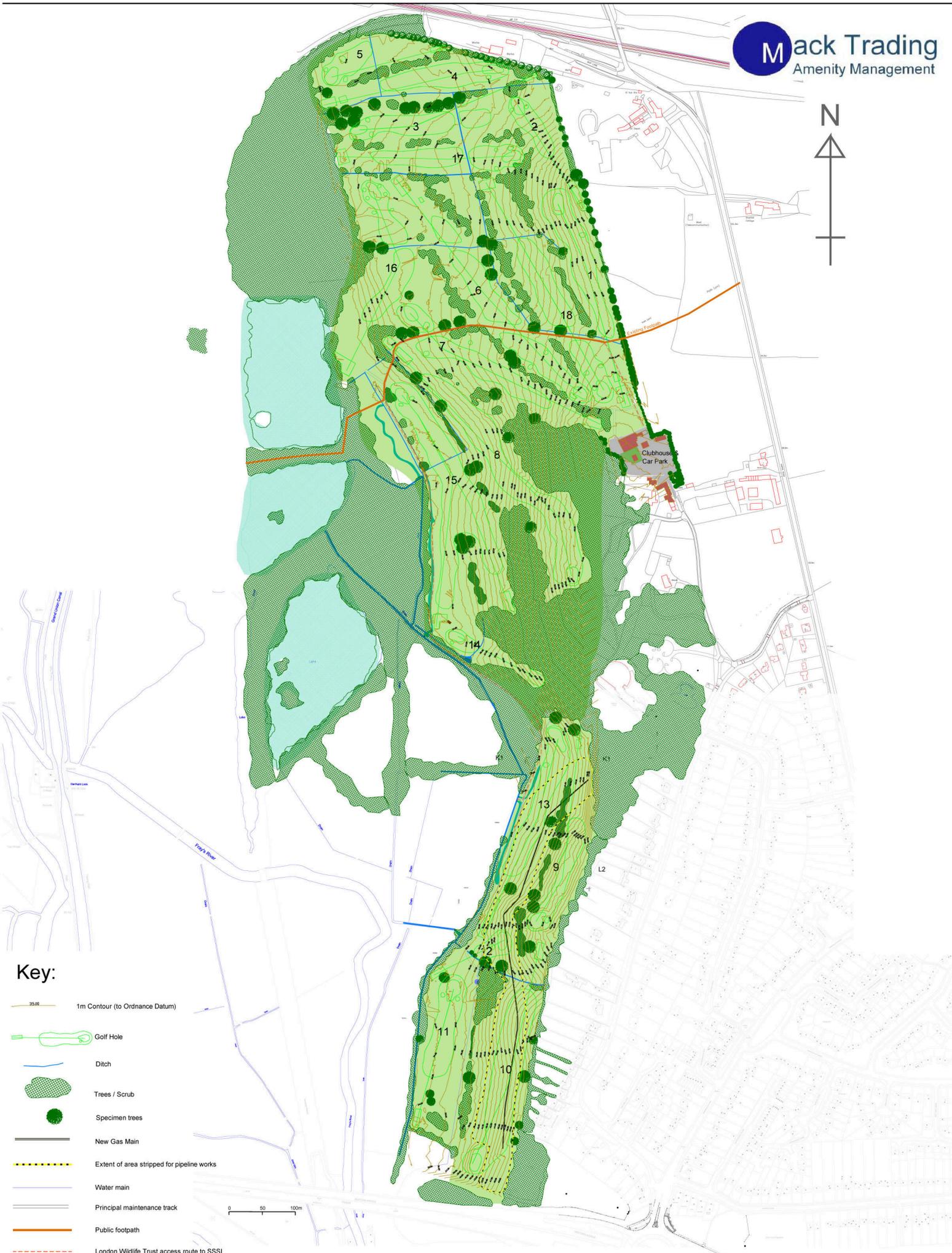
Key:

- Application Boundary
- Area outside application boundary but within the owner's control

Application Area = 12.5 hectares

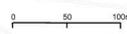


Key:



**Key:**

-  1m Contour (to Ordnance Datum)
-  Golf Hole
-  Ditch
-  Trees / Scrub
-  Specimen trees
-  New Gas Main
-  Extent of area stripped for pipeline works
-  Water main
-  Principal maintenance track
-  Public footpath
-  London Wildlife Trust access route to SSSI



DRAWN BY: Weller Designs Ltd	APPROVED BY: Bruce Weller	REVISIONS: Rev.A - 13/11/09 - Hole numbering corrected	Drawing Name:
DATE: 16/02/10	PRJ. NO. 500	Rev.B - 16/02/10 - Principal maintenance track	Existing Site Survey
DGN. NO. 500.01 Rev.B	DWG. Existing Site Survey	of disturbance associated with pipeline works ceased	
SCALE: 1:2500 @ A1	CLIENT: Mack Trading		



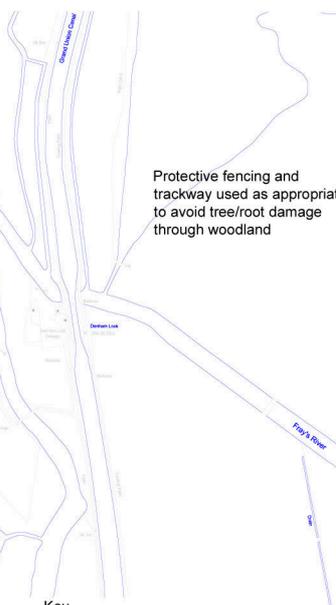
Pedestrian access to Nature Reserve via temporary route across 16th fairway during works in this location. Secure fencing separates the temporary route from the works area.

Construction crossing point over public footpath (subject to obtaining the necessary consents); remodelling works will take place close to only 50m of the 475m length of footpath across the course, and for only a short duration

Haulage route leaves existing maintenance track to avoid disturbance in vicinity of ditch known to be used by water vole

Proposed route to SSSI vehicular access point, to be used during construction works and as a permanent route thereafter. This will be managed during the construction phase in accordance with the Site Safety Traffic Management Plan.

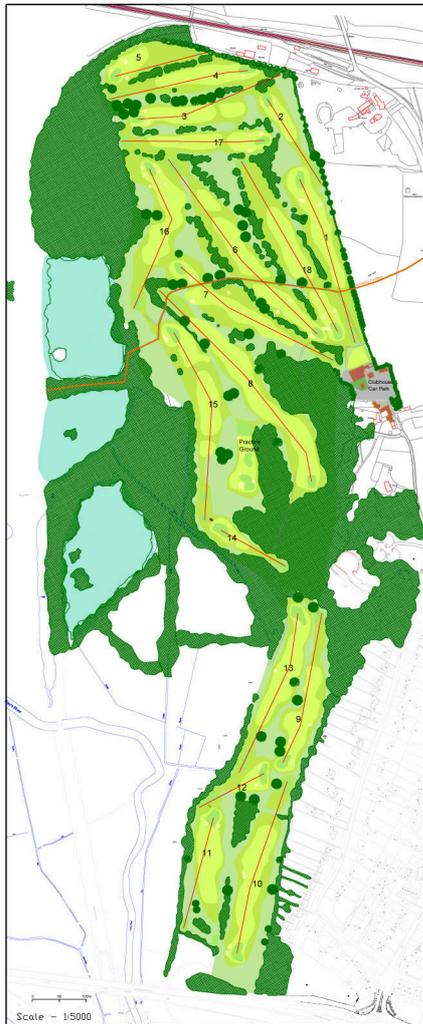
Protective fencing and trackway used as appropriate to avoid tree/root damage through woodland



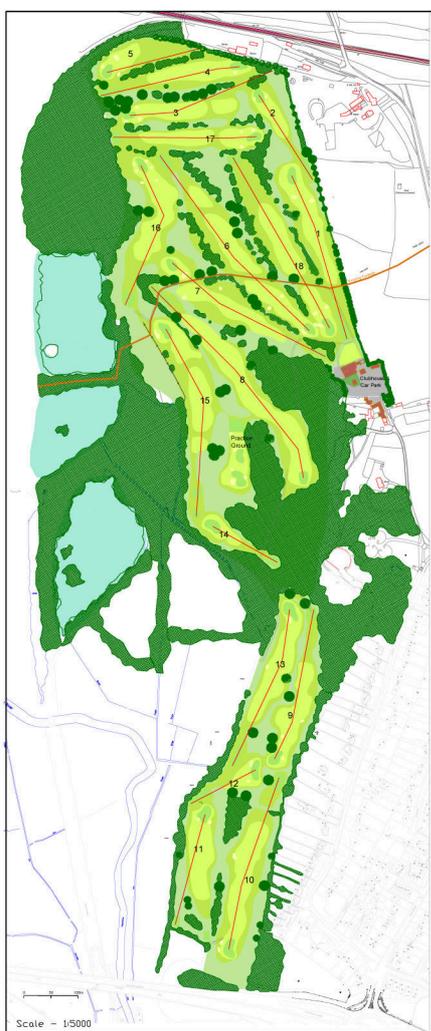
**Key**

- Tree Protection Fencing  
Type of fencing to be determined depending on proximity to works
- Proposed Haul Road
- Contractors Compound
- Topsoil Storage Area
- Heras Fencing along footpath
- Proposed regrading
- National Grid pipeline
- Existing golf holes
- Existing ditches to be retained
- Post and wire fencing to protect vole habitat
- Reserve / SSSI access route

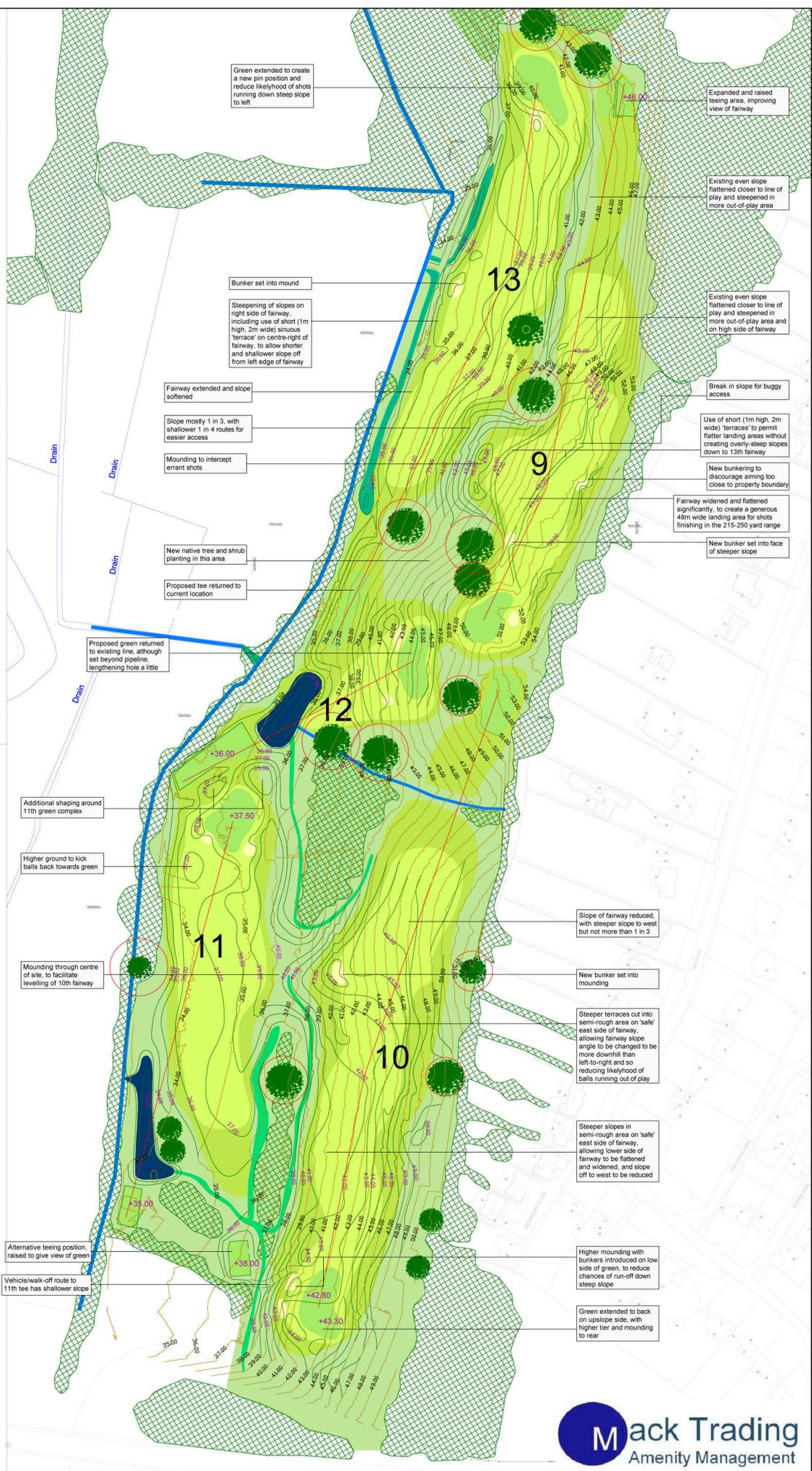
Construction traffic access from A40 slip-road (already existing - see CEMP Appendix D for plan of access arrangements)



- Greens/tees
- Fairways
- Semi-roughs
- Roughs
- Bunkers
- Existing Contour (Ordnance Datum)
- Proposed Contour
- Proposed Spot Height
- Existing Woodland (to be retained)
- Root protection area for retained tree
- Root protection area of tree categorised as removable
- Dead tree
- Maintenance track
- Existing drainage channels
- Proposed valley-bottom ditches
- Proposed valley-side ditches



Scale - 1/5000



- Greens/tees
- Fairways
- Semi-roughs
- Roughs
- Bunkers
- Existing Contour (Ordnance Datum)
- Proposed Contour
- Proposed Spot Height
- Existing Woodland (to be retained)
- Root protection area for retained tree
- Root protection area of tree categorised as removable
- Dead tree
- Maintenance track
- Existing drainage channels
- Proposed vegetated ditches

Green extended to create a new pin position and reduce likelihood of shots running down steep slope to left

Expanded and raised teeing area, improving view of fairway

Existing even slope flattened closer to line of play and steepened in more out-of-play area and on high side of fairway

Existing even slope flattened closer to line of play and steepened in more out-of-play area and on high side of fairway

Break in slope for buggy access

Use of short (1m high, 2m wide) terraces to permit flatter landing areas without creating overly-steep slopes down to 13th fairway

New bunkering to discourage aiming too close to property boundary

Fairway widened and flattened significantly, to create a generous 48m wide landing area for shots finishing in the 215-250 yard range

New bunker set into face of steeper slope

Bunker set into mound

Steepening of slopes on right side of fairway including use of short (1m high, 2m wide) sinuous 'terraces' on centre-right of fairway, to allow shorter and shallower slope off from left edge of fairway

Fairway extended and slope softened

Slope mostly 1 in 3, with shallower 1 in 4 routes for easier access

Mounding to intercept errant shots

New native tree and shrub planting in this area

Proposed tee returned to current location

Proposed green returned to existing line, although set beyond pipeline, lengthening hole a little

Additional shaping around 11th green complex

Higher ground to kick balls back towards green

Mounding through centre of site, to facilitate levelling of 10th fairway

Slope of fairway reduced, with steeper slope to west but not more than 1 in 3

New bunker set into mounding

Steeper terraces cut into semi-rough area on 'safe' east side of fairway, allowing fairway slope angle to be changed to be more downhill than left-to-right and so reducing likelihood of balls running out of play

Steeper slopes in semi-rough area on 'safe' east side of fairway, allowing lower side of fairway to be flattened and widened, and slope off to west to be reduced

Higher mounding with bunkers introduced on low side of green, to reduce chances of run-off down steep slope

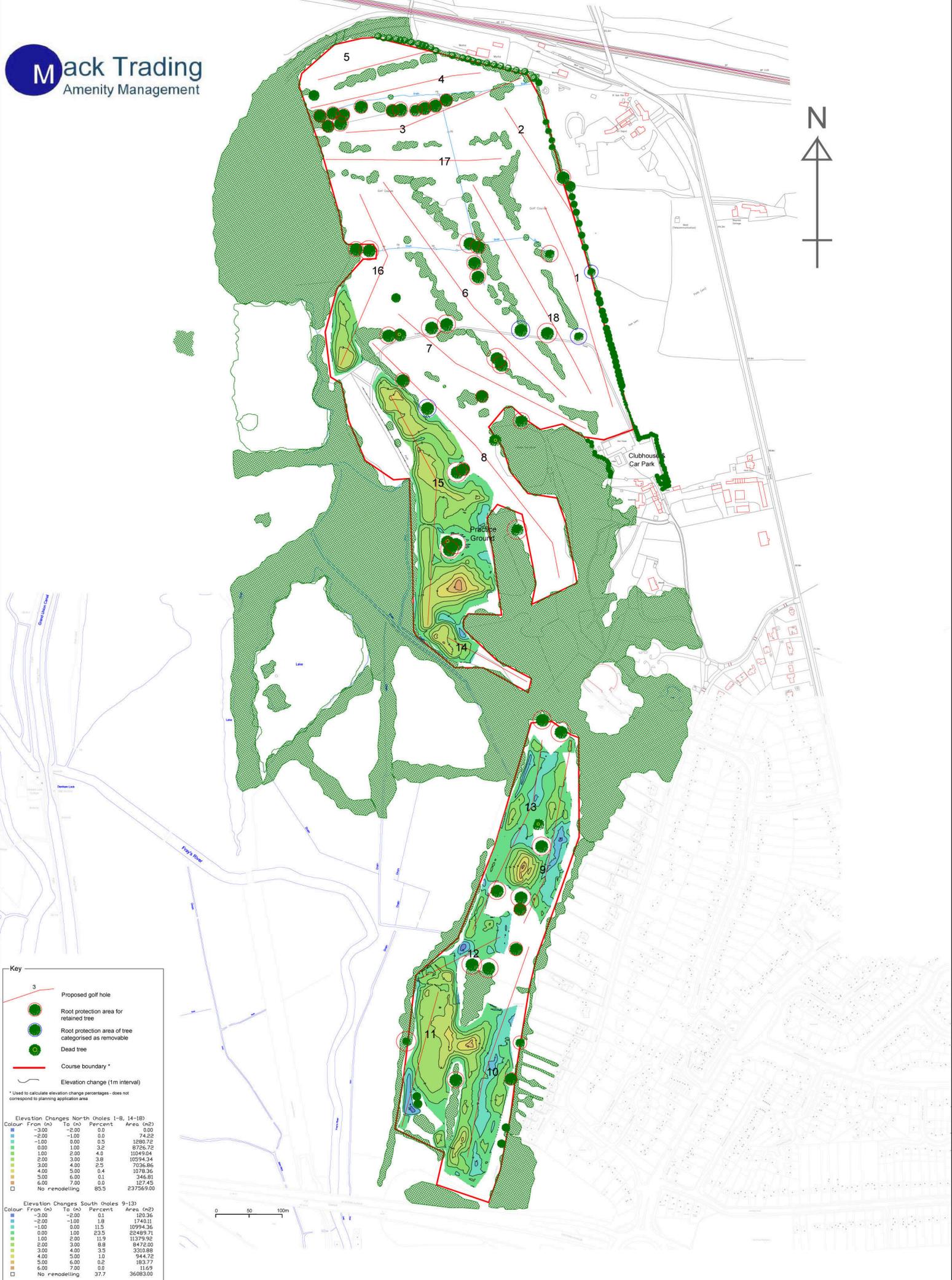
Green extended to back on upslope side, with higher tier and mounding to rear

Alternative teeing position, raised to give view of green

Vehicle/walk-off route to 11th tee has shallower slope



**Weller Designs Ltd** Golf Course Architects  
 Bishops Mead House, Bishops Mead, West St. Farnham, Surrey, GU9 7DU  
 Tel: 01252 712127 Email: gow@wellerdesigns.co.uk Web: www.wellerdesigns.co.uk



**Key**

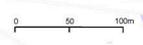
- Proposed golf hole
- Root protection area for retained tree
- Root protection area of tree categorised as removable
- Dead tree
- Course boundary \*
- Elevation change (1m interval)

\* Used to calculate elevation change percentages - does not correspond to planning application area

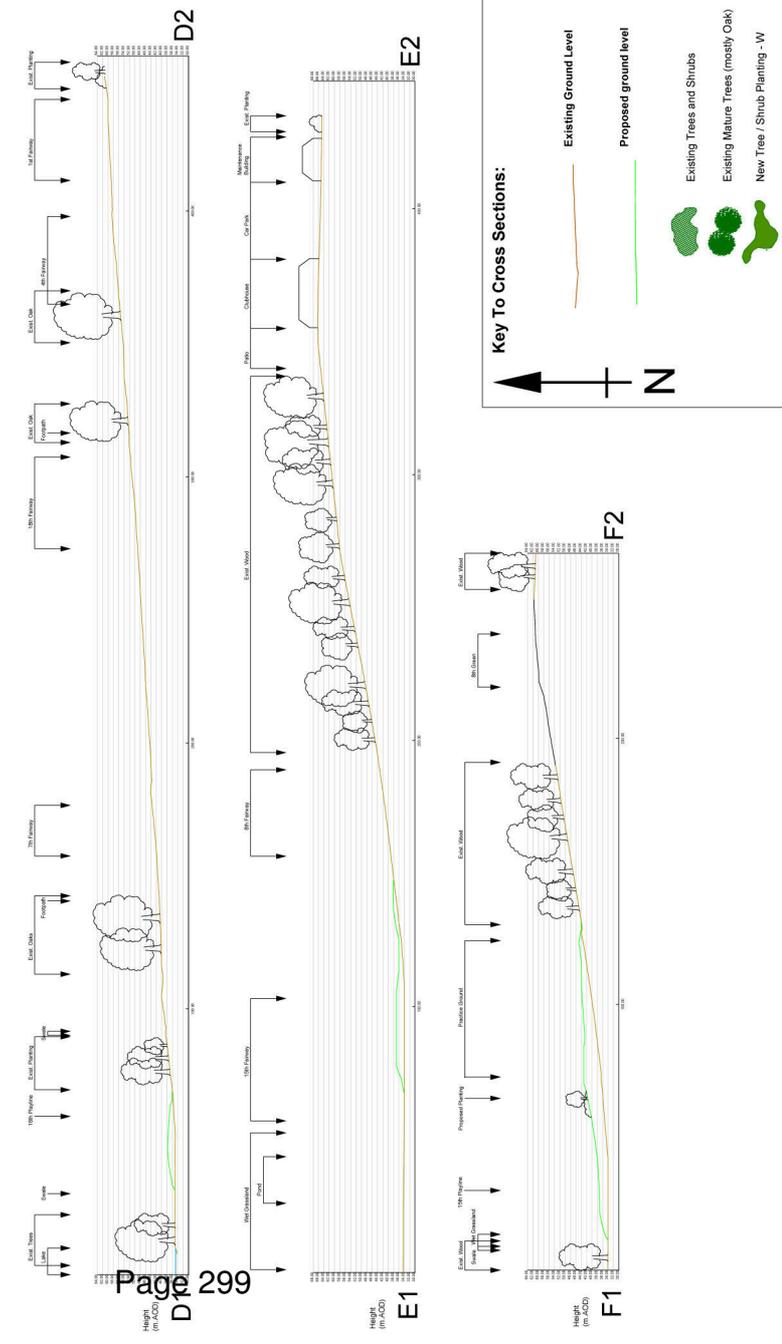
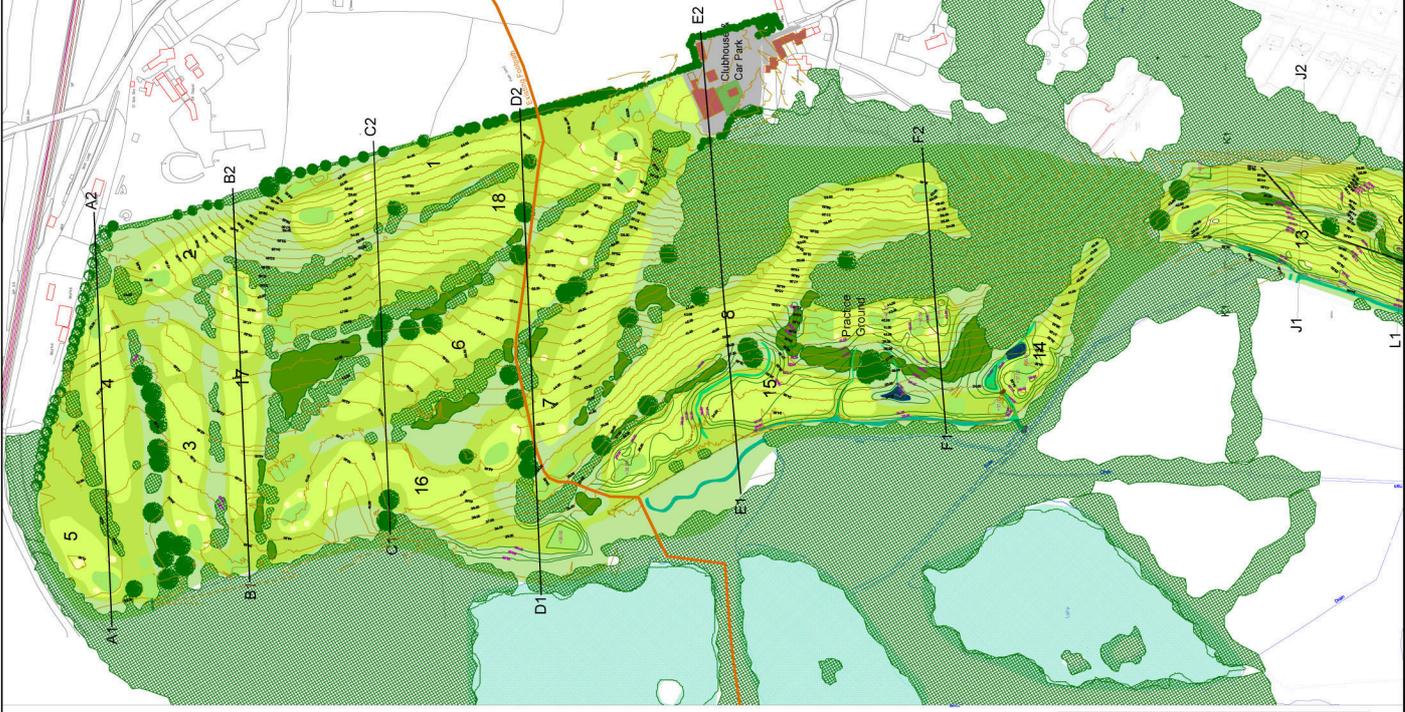
Elevation Changes North (holes 1-8, 14-18)				
Colour	From (m)	To (m)	Percent	Area (m <sup>2</sup> )
Blue	-3.00	-2.00	0.0	0.00
Light Blue	-2.00	-1.00	0.0	74.22
Light Green	-1.00	0.00	0.5	1290.72
Green	0.00	1.00	3.2	5725.75
Light Green	1.00	2.00	4.0	11049.04
Green	2.00	3.00	3.8	10594.34
Light Green	3.00	4.00	2.5	7036.86
Green	4.00	5.00	0.4	1078.36
Light Green	5.00	6.00	0.1	345.61
Green	6.00	7.00	0.0	127.45
White	No remodeling			65.3
				237569.00

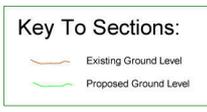
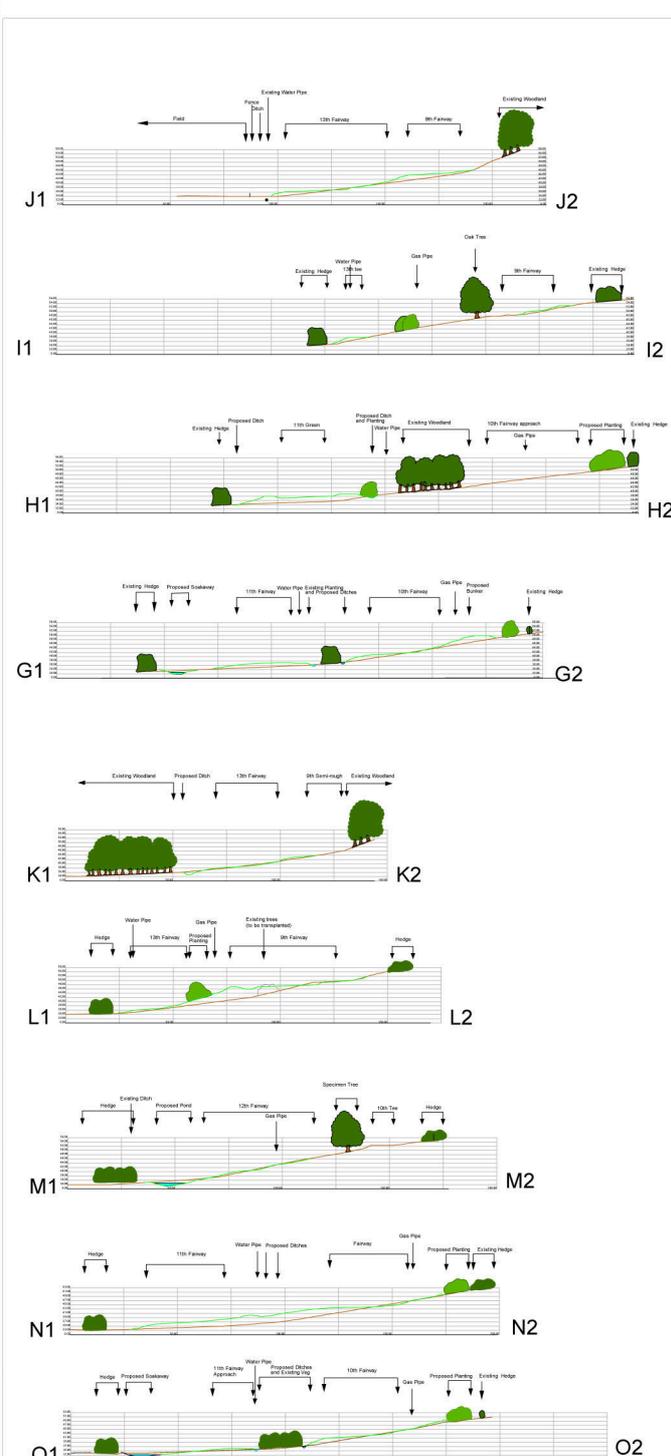
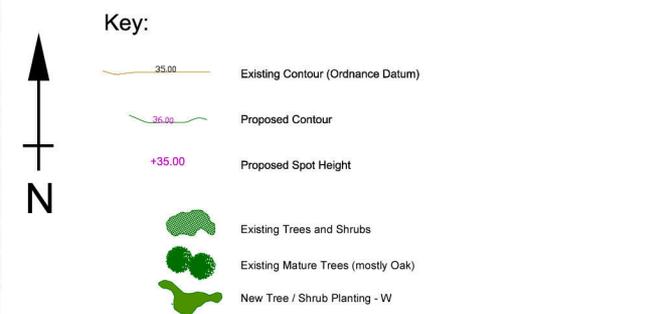
Elevation Changes South (holes 9-13)				
Colour	From (m)	To (m)	Percent	Area (m <sup>2</sup> )
Blue	-3.00	-2.00	0.1	120.36
Light Blue	-2.00	-1.00	1.8	1740.11
Light Green	-1.00	0.00	11.5	10594.36
Green	0.00	1.00	23.5	22489.71
Light Green	1.00	2.00	11.9	11379.92
Green	2.00	3.00	8.8	8472.00
Light Green	3.00	4.00	3.5	3310.89
Green	4.00	5.00	1.0	944.72
Light Green	5.00	6.00	0.2	183.77
Green	6.00	7.00	0.0	11.69
White	No remodeling			37.7
				36083.00



\* Sections A, B and C removed: no change now from current levels



DRAWN BY: David Weller DATE: 19/03/10 DGN. NO.: 500.04s_Rev.C SCALE: 1:1000 @ A1	APPROVED BY: Bruce Weller PRJ. NO.: 300 DWG.: Cross Sections - North CLIENT: Mack Trading	REVISIONS: Rev.C 19/2/10 - no for reduction in scale of project Drawing Note: <b>Cross Sections - North</b>	 <p>Weller Designs Ltd Golf Course Architects        100, Walsley Road, Walsley, S70 2BA        Tel: 01922 712127 Email: info@wellerdesigns.co.uk Web: www.wellerdesigns.co.uk</p>
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Scale 1:1250 @ A1

DRAWN BY: Weller Designs Ltd	APPROVED BY: Bruce Weller	REVISIONS: Rev E 19/3/10 - major revision in scope of project
DATE: 19/03/10	PROJ. NO. 500	
DGN. NO.: 500.04b Rev E	DWG. Cross Sections - South	
SCALE: 1:1250 @ A1 plan	CLIENT: Mack Trading	

Project: **Bishops Mead House, Bishops Mead, West St. Farnham, Surrey, GU9 7DU**

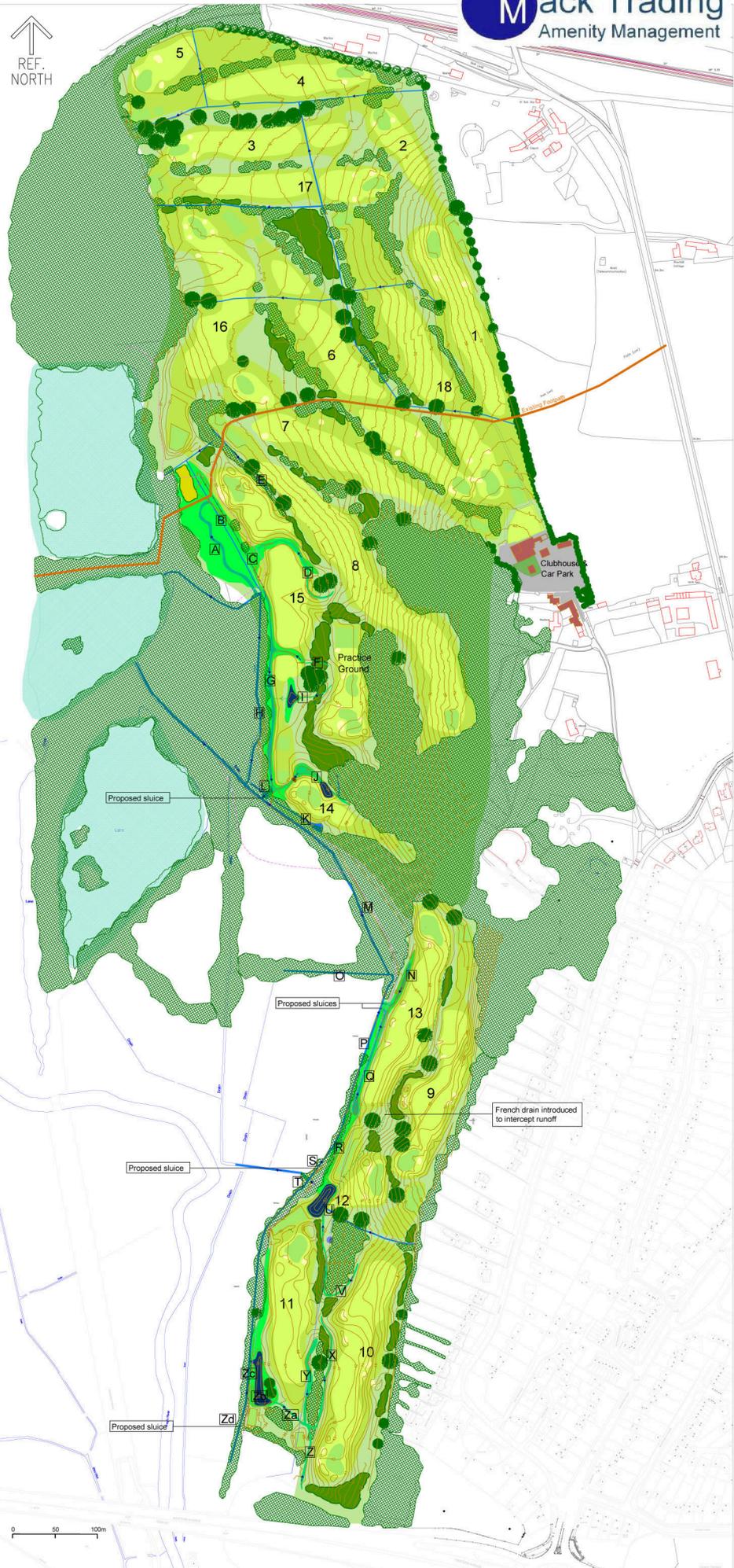
**Cross Sections South**

**Weller Designs Ltd Golf Course Architects**  
 Bishops Mead House, Bishops Mead, West St. Farnham, Surrey, GU9 7DU  
 Tel/Fax: 01252 712127 Email: golf@wellerdesigns.co.uk Web Site: www.wellerdesigns.co.uk

**Water Management Features**

Refer to Johns Associates' Water Management Plan for full details of proposed features and ongoing management, including typical dimensions and profile of ditches and storage volumes, and to Hydro-Logic Flood Risk Assessment for potential run-off calculations.

- A New sinuous valley-bottom ditch created in existing wet grassland to provide additional water vole habitat and further microhabitat diversity in this location. The ditch connects from the inflowing stream from the LNR lake to the west of the site, and to an existing sediment-choked ditch containing water vole. The new circular flow path may help to prevent future sediment deposition in this sensitive habitat.
- B Retain existing ditch but remove small amounts of accumulated sediment over a period of 4 years, retaining bankside habitat, in accordance with guidance in Water Vole Conservation Handbook. Ditch will have a 5m buffer zone, protected by post and wire fencing.
- C Species-rich native wet grassland below the remodelled slope. This will receive direct runoff from the adjacent fairway/rough and subsurface flow, and grade into the rough. The vegetation will provide additional water vole habitat, slow down runoff, enable increased evapotranspiration, promote deposition (although no sediment transport predicted) and act as a buffer zone between the fairway and ditch (to assist with water quality management).
- D Vegetated valley-side ditch taking runoff away from a group of mature trees to feature C. Ditch will be vegetated, to slow runoff down, increase evapotranspiration and provide a further buffer feature to water quality as it moves through the golf course to the SSSI. Ditch will receive upslope runoff and sub-surface fairway drainage.
- E Section of existing dry, shallow ditch under tree line retained.
- F Proposed valley-side ditch as per feature D.
- G New valley-bottom ditch located along the alignment of the current maintenance track (to be removed). The ditch will have a 'blanked off' northern end and therefore will not be connected to the incoming flow from the adjacent lake or features A or B. It will receive runoff from the fairway to the east and from features F, J and K, as well as sub-surface drainage. Will have some variability in cross-sectional form, according to space available.
- H Existing stream and marginal vegetation to remain in current form during construction process. Targeted management for water vole to be included as part of long-term site management strategy.
- I Short valley-side type ditch (as per feature D) and small permanent pond. Overflow pipe to new valley bottom ditch (feature G).
- J Short valley-side type ditch (as per feature D but with more damp-loving species) with a small on-line permanent pond. Runoff from upslope areas and sub-surface drainage will feed via the ditch into the pond. When the pond is nearly full it will overflow (in an unmanaged manner) via a low point in the bank, down a further length of swale and ditch to feature L.
- K Existing wet ditch and small wet hollow to be retained, marginal areas to be enhanced to improve length of vegetation and buffer zone.
- L New pond created at confluence of 3 ditch features (G, J and K). South-west bank will include a sluice structure that will be used to vary the discharge of water from features G, F, J and K and upslope areas. A stage board will be installed to facilitate water level management.
- M Existing stream channel to be retained without intervention. This will convey all of the existing and managed flow from the north of the site south and into the SSSI. Out-of-bank flooding may be welcomed as it will increase wetness within the adjacent woodland, much of which is managed as a wet woodland.
- N New valley-bottom type ditch located adjacent to rough and track used by London Wildlife Trust for vehicular access to SSSI. Upslope runoff and sub-surface drainage will enter this ditch, which will be blanked-off at its northern end. The ditch will be piped under the track to form a confluence with existing ditch feature P. The confluence will include a generic sluice to control flow within the ditch to feature P, which in turn joins feature M and thus provides a link to water entering the SSSI. A stage board will be installed to facilitate water level management.
- O Existing stream channel within the SSSI. No modification of this is proposed.
- P Existing wet ditch on valley floor of the southern component of the golf course and forming a boundary with the SSSI. The ditch will be sensitively reprofiled to restore a north to south gradient and to create additional water vole habitat. All of the runoff from the southern component of the course will enter this ditch, after passing through the proposed new features. Water in the ditch can either enter the SSSI (via feature S) or continue to flow south to flow into the Fray's River off site, subject to flow control proposed as part of feature Zd).
- Q New valley-bottom type ditch located adjacent to rough and along the alignment of the existing access track (to be removed). Upslope run-off and sub-surface drainage will enter this ditch, which will be blanked off at its southern end with a small, overdeepened pool. The ditch will bend 90 degree at the northern end to form a confluence with existing ditch feature P. The confluence will include a generic sluice and stageboard as per feature N.
- R New fairway/rough will be graded to the existing valley-side slope, across the area currently occupied by the access track, enabling runoff and sub-surface flow to enter ditch P.
- S Provision of a generic sluice to control flow within existing ditch P as part of the water level management within the golf course and the adjacent SSSI. A stage board will be installed.
- T Small, damp hollow within feature P. Existing small, blocked pipe which links ditch P to the SSSI to be replaced with a generic sluice and stage board to control flow, as per feature N. The operation of this would be linked with operation of the adjacent ditch P, sluice S and other sluices.
- U Retention of an existing ephemeral valley-side stream, which is currently culverted under the valley-bottom track (which is to be removed). Will form a confluence with feature V and enter new pond. When full the pond will overflow in an unmanaged manner via a low point in the bank, down a length of vegetated swale to the valley bottom and feature T.
- V Proposed valley-side ditch as per feature D.
- X Proposed valley-side ditch as per feature D.
- Y Vegetated swale between retained woodland block and raised fairway, predominantly receiving runoff from the adjacent fairway edge and very local sub-surface flow. To be vegetated with robust local native species, with damp-tolerant specimens.
- Z Proposed valley-side ditch as per feature D.
- Za New valley-side type ditch that will receive runoff from features X, Y and Z as well as local runoff and sub-surface flow. This will link to feature Zb.
- Zb New pond receiving runoff from features X, Y, Z and Za. Will be surrounded by low-lying wet grassland and can be managed (via the sluices in ditch P) to allow water to flood out onto the wet grassland to ensure this is maintained in a favourable condition. Water will flow out of the pond in an unmanaged fashion through a low point and down a vegetated swale into ditch P.
- Zc Area of low-lying wet grassland, managed for this purpose, as a storage for managing flow to the SSSI.
- Zd Generic sluice installed in retained existing perimeter ditch P, that when closed will cause localised flooding of the wet grassland and promotion of ditch flow via sluice T into the SSSI and when open will allow flow to continue south to the Frays River (or a combination of both).



**Key**

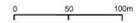
- Existing Trees and Shrubs
- Existing Mature Trees (mostly Oak)
- New Tree / Shrub Planting - W
- Developing Carr Woodland
- Proposed Rough Grassland
- Proposed Wet Grassland
- Greens / Tees
- Fairways
- Semi-roughs
- Bunkers
- Post & rail fence marking 5m buffer from vole ditch
- Finished contours (1m)
- Retained ditches
- Proposed Permanently Wet Ditches
- Proposed Ephemeral Wet Ditches / Swales
- Direction of Channel Flow
- Proposed Open Water
- Public Footpath
- Principal Maintenance Track
- Carrier pipe for pond overflow
- French drain
- 8m buffer from edge of flood zone



**Key:**

-  Existing Contour (Ordnance Datum)
-  Existing ditches
-  Root protection area for retained tree
-  Root protection area of tree categorised as removable
-  Dead tree
- 550** Existing Specimen Trees (tagged)  
See also Alderwood Consulting Tree Report
- G50** Existing Tree / Shrub Blocks  
See also Alderwood Consulting Tree Report

Note: Drawing prepared from details supplied by Alderwood Report





No fill upslope of any trees to the northeast of this line.

Mounding to south-west, but existing ditch runs between tree and area to be raised.

Group of seven Lombardy poplar

No fill upslope of tree. Minor raising of levels downslope will be intercepted by existing ditch.

Group of three Lombardy poplar

No fill upslope of trees. Negligible increase in 'catchment' resulting from fill to north, greater increase from south but new ditch will intercept.

Minimal fill upslope of trees. Some increase in 'catchment' resulting from fill to north and south but new ditches will intercept.

Mixed native semi-mature plantation

No fill upslope of trees

Trees already removed as part of gas pipe installation. To be reinstated.

Tree is dead

Fill in current upslope area will not have sufficient impact on elevation or slope angle to affect tree. New slope to south will direct moisture towards tree, but existing slope angle within rpa is steep enough to rapidly shed surface flow.

Some increased slope towards tree from bank below 8th fairway but existing slope angle within rpa is steep enough to rapidly shed surface flow.

Reduction in slope of 8th fairway results in only a negligible change in slope angle near to tree 556, and no change near 557. Some increased slope towards 556 from new bank to north, but existing slope angle within rpa is steep enough to rapidly shed surface flow.

Two semi-mature willows in poor condition.

Hedgerow tree in low-lying position, so used to wet conditions. Associated with existing ditch. Slope of fill above this is gentle, but additional drainage channel to be added to ensure excess flow does not cause additional waterlogging.

Tree is already below a significant slope. This will be steeper, but new vegetated ditch will intercept surplus flow from higher ground to east and west.

Lateral pipe drainage on golf hole will take water north of trees towards swale. Slope angle is gentle so surface water flow is not expected to increase significantly.

Mixed native semi-mature plantations

Clubhouse Car Park

Mixed native semi-mature plantations

No fill upslope of tree

Minimal fill upslope of trees

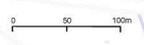
No fill upslope of tree.

No fill upslope of tree.

No fill upslope of tree.

**Key**

- Existing 1m Contour (Ordnance Datum)
- Proposed Fill (1m contours)
- Existing ditches to be retained
- Proposed Valley-Bottom Ditches (permanently wet)
- Proposed Valley-side Ditches (ephemeral flow)
- Proposed Open Water
- Existing Specimen Trees (tagged)
- Existing Tree / Shrub Blocks  
See also Alderwood Consulting Tree Report
- Root protection area for retained tree
- Root protection area of tree categorised as removable
- Dead tree
- Proposed Tree Clearing  
Wherever possible, younger trees will be transplanted to appropriate locations on the golf course



**Woodland Structure Planting - W - Area 15850 sq.m**

Plants to be transplant whips (0.45-0.6m) located in species drifts of 9-30 plants at 3m (tree) and 1.5m (shrub) centres

Climax Trees		%Mix	No. of Plants
Fraxinus excelsior	Ash	6.25	110
Quercus robur	Oak	6.25	110
Matrix Trees			
Prunus avium	Wild Cherry	15	264
Carpinus betulus	Hornbeam	15	264
Castanea sativa	Sweet Chestnut	15	264
Shrubs			
Acer campestre	Field Maple	3	211
Corylus avellana	Hazel	6	422
Crataegus monogyna	Hawthorn	12.5	880
Ilex aquifolium	Holly	3	211
Prunus spinosa	Blackthorn	5	352
Rosa canina	Dog Rose	2.5	176
Sambucus nigra	Elder	2.5	176
Sorbus aucuparia	Rowan	3	211
Sorbus torminalis	Wild Service Tree	2.5	176
Viburnum opulus	Guelder Rose	2.5	176

**Woodland Wildflower Planting**

Wildflower plugs to be planted once new woodland blocks established with canopy shade:

Anemone nemorosa	Wood Anemone
Hyacinthoides non-scripta	Bluebell
Lysimachia nemorum	Yellow Pimpernel
Lamium galeobdolon	Yellow Archangel
Mercurialis perennis	Dog's Mercury
Ajuga reptans	Bugle
Euphorbia amygdaloides	Wood Spurge
Ruscus aculeatus	Butcher's Broom

**Alder Carr Woodland - Area 640 sq.m**

This area is being naturally recolonised by willow from the adjacent wet woodland and so will be left to develop naturally.

**Out of Play Roughs - 32000 sq.m**

80:20 Grass/Wildflower Mix sown at 3g/sq.m

Grasses			
Agrostis capillaris	Common Bent	Trisetum flavescens	Yellow Oat-grass
Bromus commutatus	Meadow Brome	Festuca rubra	Red Fescue
Cynosurus cristatus	Crested Dog's-tail	Festuca arundinacea	Tall Fescue
Festuca pratensis	Meadow Fescue	Holcus lanatus	Yorkshire Fog
Phleum bertolonii	Small-leaved Timothy	Anthoxanthum odoratum	Sweet Vernal-grass

Wildflowers			
Achillea millefolium	Yarrow	Centaurea nigra	Black Knapweed
Knautia arvensis	Field Scabious	Lecantheum vulgare	Ox-eye Daisy
Malva moschata	Musk Mallow	Stachys officinalis	Betony
Silene dioica	Red Campion	Viviva cracca	Tufted vetch
Leontodon autumnalis	Autumn Hawkbit	Rhinanthus minor	Yellow Rattle
Galium verum	Lady's Bedstraw	Vicia sativa	Common Vetch
Daucus carota	Wild Carrot	Lotus corniculatus	Common Birds-foot Trefoil
Lathyrus pratensis	Meadow Vetchling	Ranunculus acris	Meadow Buttercup

**Wet Grassland - Area 6900 sq.m (excludes existing 3700 sq.m to west of 15th green)**

80:20 Grass/Wildflower Mix sown at 3g/sq.m

Grasses			
Agrostis capillaris	Common Bent	Deschampsia cespitosa	Tufted Hair-grass
Bromus commutatus	Meadow Brome	Alopecurus pratensis	Meadow Foxtail
Festuca arundinacea	Tall Fescue	Hordeum secalinum	Meadow Barley
Festuca pratensis	Meadow Fescue	Carex acutiformis	Lesser Pond-sedge
Phleum bertolonii	Small-leaved Timothy		

Wildflowers			
Apium nodiflorum	Fools Watercress	Callitha palustris	Marsh Marigold
Cardamine pratensis	Cuckooflower	Filipendula ulmaria	Meadowsweet
Glyceria fluitans	Floating Sweet-grass	Glyceria maxima	Reed Sweet-grass
Iris pseudocorus	Yellow Flag Iris	Juncus effusus	Soft Rush
Lathyrus pratensis	Yellow meadow vetchling	Lychnis flos-cuculi	Ragged Robin
Lythrum salicaria	Purple Loosestrife	Lotus pedunculatus	Greater Bird's-foot Trefoil
Pulicaria dysenterica	Feabane	Achillea ptarmica	Sneezewort
Eupatorium cannabinum	Hemp agrimony	Succisa pratensis	Devil's-bit Scabious

**Permanently Wet Ditches - Area 1600 sq.m**

As above but with the addition of the following species, planted as plugs:

Deschampsia cespitosa	Tufted Hair-grass	Glyceria maxima	Reed Sweet-grass
Iris pseudocorus	Yellow Flag	Phalaris arundinacea	Reed Canary-grass
Carex acutiformis	Lesser Pond-sedge		

**Ephemerally Wet Ditches and Swales - Area 2000 sq.m**

80:20 Grass/Wildflower Mix sown at 3g/sq.m

Holcus lanatus	Yorkshire fog	Agrostis stolonifera	Creeping bent
Festuca rubra	Red fescue	Deschampsia cespitosa	Tufted hair-grass
Dactylis glomerata	Cock's-foot	Poa trivialis	Rough meadow-grass
Juncus effusus	Soft rush	Juncus inflexus	Hard rush
Epilobium hirsutum	Great willowherb	Eupatorium cannabinum	Hemp agrimony
Filipendula ulmaria	Meadowsweet	Angelica sylvestris	Wild angelica
Pulicaria dysenterica	Feabane	Ranunculus acris	Meadow buttercup
Agrimonia eupatoria	Agrimony		

**Ponds and Surrounds - Area 1840 sq.m**

**Aquatic Marginal Species**

Callitha palustris	Marsh Marigold	Filipendula ulmaria	Meadowsweet
Iris pseudocorus	Yellow Flag Iris	Lychnis flos-cuculi	Ragged Robin
Veronica beccabunga	Brooklime	Lythrum salicaria	Purple Loosestrife
Mentha aquatica	Water Mint	Myosotis scorpioides	Water forget-me-not
Polygonum amphibium	Amphibious bistort	Rorippa nasturtium-aquaticum	Watercress
Sagittaria sagittifolia	Arrowhead	Scrophularia auriculata	Water Figwort

**Aquatic Marginal Species planted as plugs:**

Deschampsia cespitosa	Tufted hair-grass	Glyceria maxima	Reed sweet-grass
Iris pseudocorus	Yellow flag	Phalaris arundinacea	Reed canary-grass
Carex acutiformis	Lesser pond-sedge		

**Submerged Aquatic Species**

Callitriche stagnalis	Common water starwort
Myriophyllum spicatum	Spiked water-milfoil
Ranunculus aquatilis	Common water crowfoot

**Floating Aquatic Species**

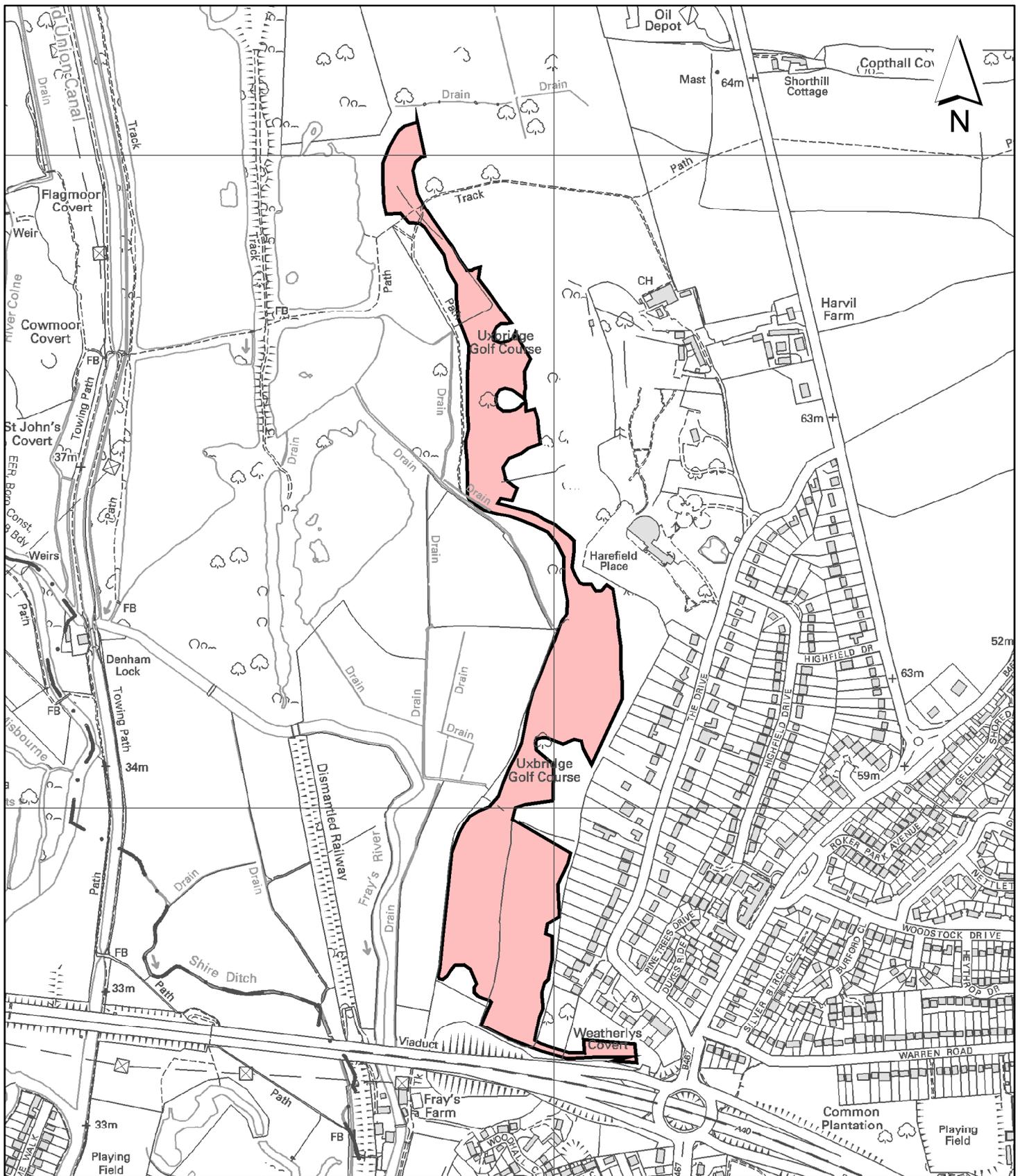
Potamogeton crispus	Curled Pondweed
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**Plan Key:**

\* Habitat types based on initial suggestions in Johns Associates' Adopted Mitigation, Enhancement & Management Report

	Existing Trees and Shrubs		Finished contours (1m)
	Existing Mature Trees (mostly Oak)		Retained ditches
	New Tree / Shrub Planting - W		Proposed Permanently Wet Ditches
	Developing Carr Woodland		Proposed Ephemerally Wet Ditches / Swales
	Proposed Rough Grassland		Direction of Channel Flow
	Proposed Wet Grassland		Proposed Open Water
	Greens / Tees		Public Footpath
	Fairways		Principal Maintenance Track
	Semi-roughs		Proposed London Wildlife Trust access to SSSI
	Bunkers		Post and wire fencing to protect vole habitat





**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Uxbridge Golf Club  
The Drive  
Ickenham**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**4601/APP/2010/1103**

Scale

**1:8,000**

Planning Committee

**North Page 305**

Date

**July 2010**



**HILLINGDON**  
LONDON



NOTES

The Contractor must verify all dimensions at site before setting out. In respect to the Contract Administrator before proceeding. DO NOT SCALE FROM THIS DRAWING.

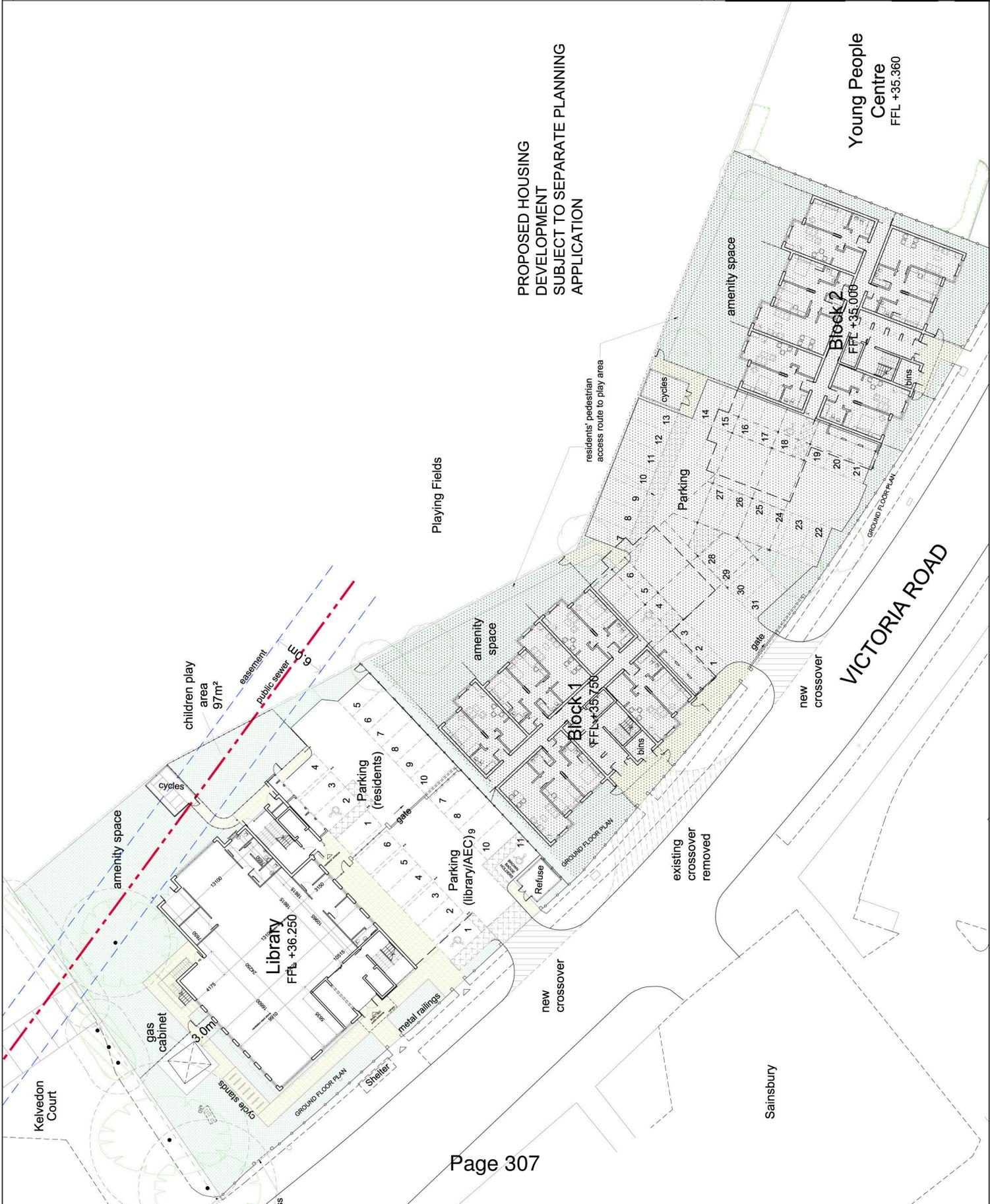
Rev	Revision notes	Initials	Date



**HILLINGDON**  
LONDON

MAJOR CONSTRUCTION PROJECTS  
4th/5th, CIVIC CENTRE, URBIDGE, HODKESLEY, URBIS 10W  
TEL: 01895 255 111  
FAX: 01895 27 254

SOUTH RUISLIP LIBRARY PLOT A	
DESIGNATION	PROPOSED SITE PLAN
GROUND FLOOR	
SCALE	1:200@A1
DRAWN BY	BA
CHECKED BY	
DATE	MAY 2010
REVISION	



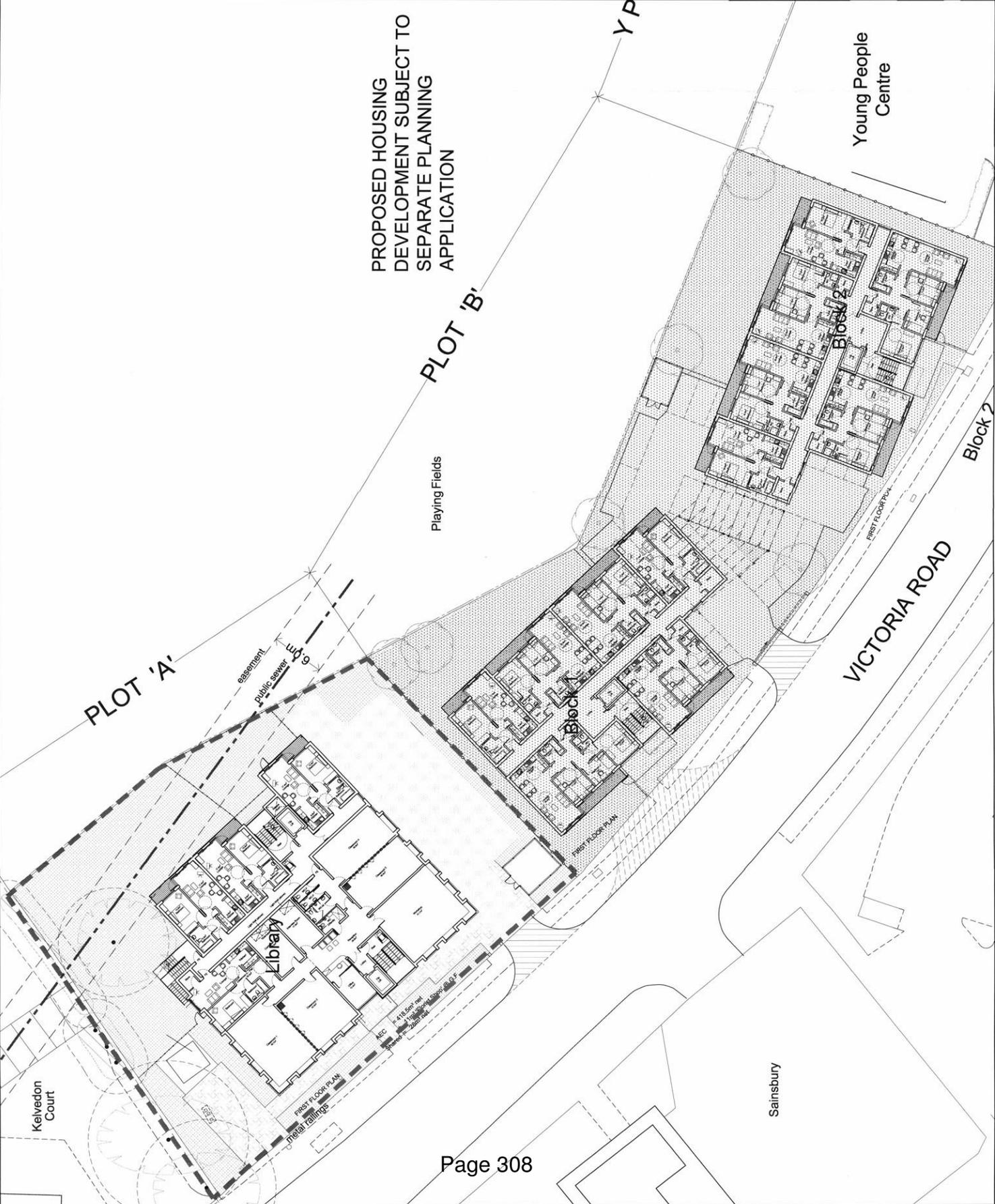
PROPOSED HOUSING  
DEVELOPMENT  
SUBJECT TO SEPARATE PLANNING  
APPLICATION

Young People  
Centre  
FFL +35.360

NOTES

The Contractor shall verify all dimensions at the site before starting work. Any discrepancies or errors shall be reported to the Contract Administrator before proceeding. DO NOT SCALE FROM THIS DRAWING.

 <p><b>HILLINGDON</b> LONDON</p> <p>MAJOR CONSTRUCTION PROJECTS 4th/12, CIVIC CENTRE, URBISOL, WOODSLEY, US8 10W Tel: 01895 277 224 Fax: 01895 277 224</p>			
<p><b>SOUTH RUISLIP LIBRARY</b> PLOT 'A'</p>			
<p>DESCRIPTION: PROPOSED LIBRARY SITE PLAN FIRST FLOOR</p>			
SCALE: 1:200@A1	DRAWN BY: BA	CREATED BY:	DATE: MAY 2010
DRAWING NO: 2009/D42A/P/08		REVISION:	



NOTES

The Contractor must verify all dimensions of the site before setting out. Any discrepancies must be reported to the Contract Administrator before starting work. DO NOT SCALE FROM THIS DRAWING

Revision No.	1	2	3	4	5	6	7	8	9	10
Date										

**HILLINGDON**  
LONDON  
MAJOR CONSTRUCTION PROJECTS  
4th/7th, CIVIC CENTRE, URBIDGE, MIDDLESEX, UB8 3JH  
Tel: 01885 250 111  
Fax: 01885 277 224

**SOUTH RUISLIP LIBRARY**  
PLOT A

PROPOSED SITE PLAN  
SECOND FLOOR

SCALE: 1:200@A1  
DRAWING NO.:  
DATE: MAY 2010  
PROJECT NO.:  
DRAWN BY: BA  
CHECKED BY:  
APPROVED BY:  
REVISIONS:

2009/D42A/P/09

PROPOSED HOUSING  
DEVELOPMENT SUBJECT TO  
SEPARATE PLANNING  
APPLICATION

PLOT 'B'

Playing Fields

YP

Young People  
Centre  
FFL +35.360

PLOT 'A'

6.0m  
Public sewer  
Easement

Library

Block 1

Block 2

Block 2

Kelvedon  
Court

Sainsbury

SECOND FLOOR PLAN

SECOND FLOOR PLAN

SECOND FLOOR PLAN

NOTES

1. This drawing is a preliminary design and is subject to change without notice. It is not to be used for construction or for any other purpose without the prior written consent of the architect. It is the responsibility of the client to ensure that all necessary permissions and consents are obtained from the relevant authorities before proceeding. It does not scale from this drawing.

Author	Designer/Architect	Checker	Date

**HILLINGDON**  
LONDON  
MAJOR CONSTRUCTION PROJECTS  
4N/12, CIVIC CENTRE, URBISIDE, WOLSELEY, 188 1UP  
Tel: 01895 250 111  
Fax: 01895 277 224

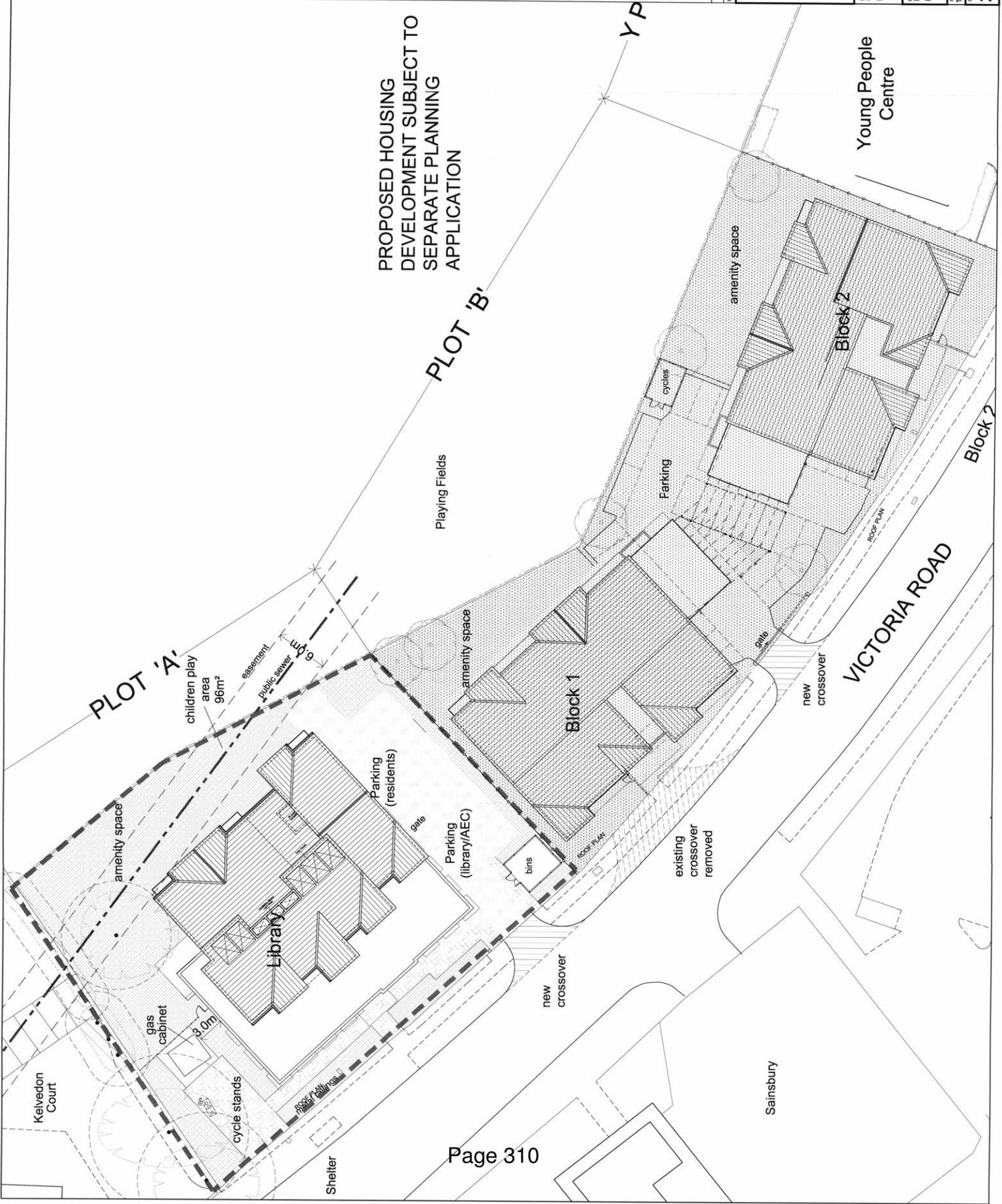
**SOUTH RUISLIP LIBRARY**  
PLOT A

DESCRIPTION:  
PROPOSED SITE PLAN  
ROOF PLAN

SCALE: 1:200 @ A1  
DRAWING NO: 2009/D42A/P/10

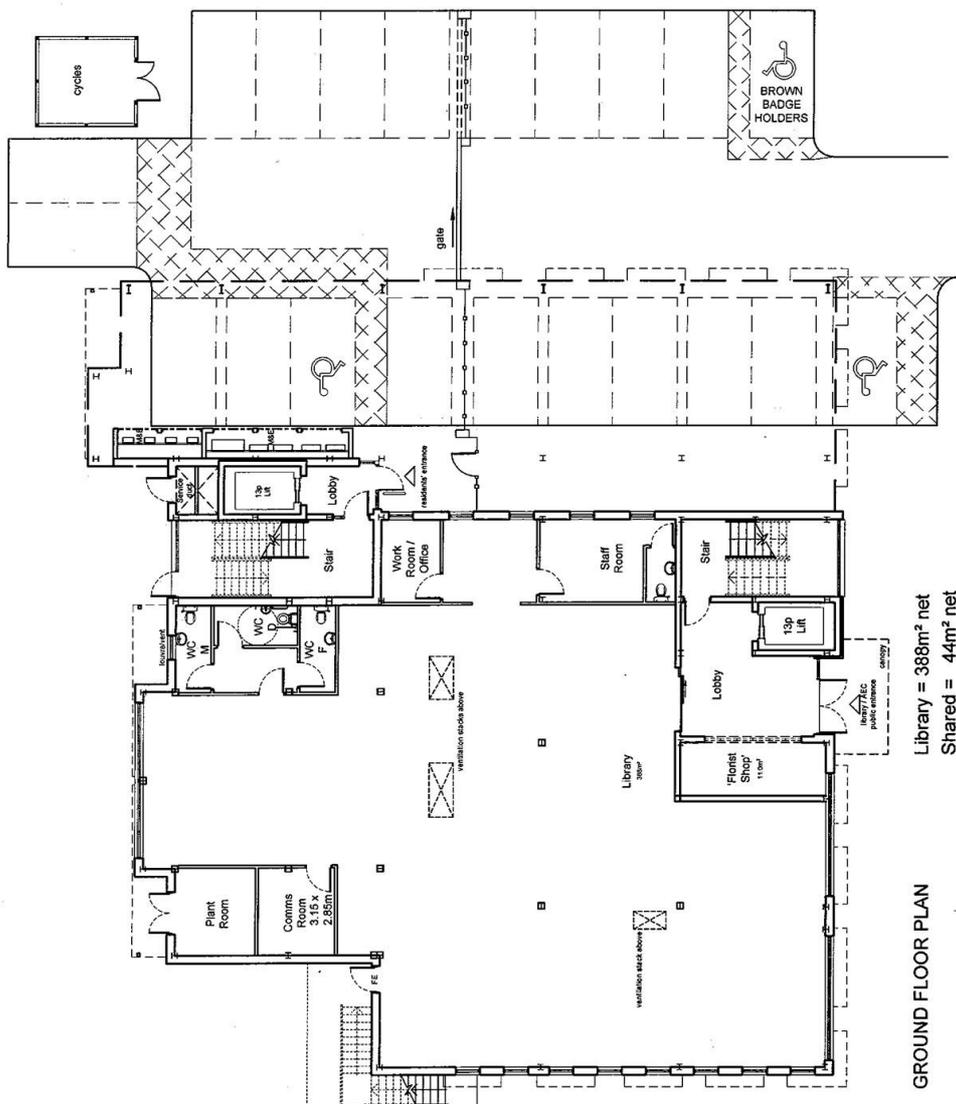
CHECKED BY: BA  
DATE: MAY 2010  
REVISION:

PROPOSED HOUSING  
DEVELOPMENT SUBJECT TO  
SEPARATE PLANNING  
APPLICATION



NOTES

The Contractor must verify all dimensions at the site before starting out. Any discrepancy between the drawings and the site must be reported to the Contract Administrator for proceeding. DO NOT SCALE FROM THIS DRAWING



GROUND FLOOR PLAN

Library = 388m<sup>2</sup> net  
 Shared = 44m<sup>2</sup> net

Rev	Revision notes	Initials	Date

**HILLINGDON**  
LONDON

MAJOR CONSTRUCTION PROJECTS  
 4N/12, CIVIC CENTRE, URBIDGE, MIDDLESEX, UB8 3UW  
 TEL: 01895 250111  
 FAX: 01895 277224

PROJECT: SOUTH RUISLIP LIBRARY SITE  
 PLOT A

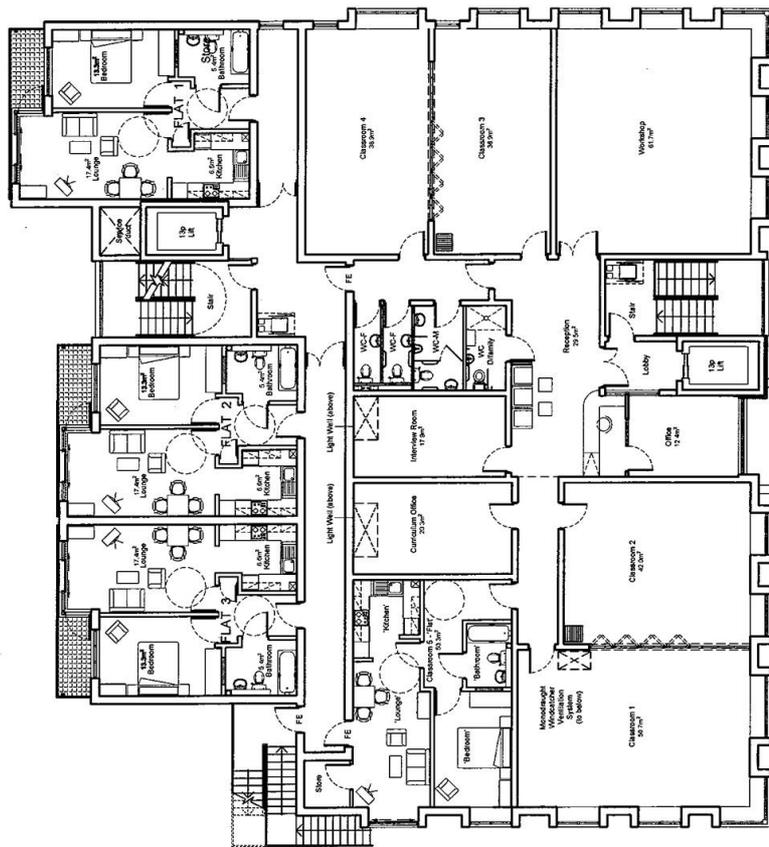
DESCRIPTION: LIBRARY BLOCK; PROPOSED FLOOR PLANS  
 GROUND FLOOR PLAN

SCALE: 1:200 @ A3 DRAWN BY: DATE: FEB 2010  
 1:100 @ A1 SP

DRAWING No. **2009/D42A/18**

NOTES

The Contractor must verify all dimensions at the site before setting out. All dimensions must be reported to the Contract Administrator before proceeding.  
**DO NOT SCALE FROM THIS DRAWING**



**FIRST FLOOR PLAN**  
 AEC = 418.5m<sup>2</sup> net  
 + 11m<sup>2</sup> 'Florist Shop' @ G.F.  
 Shared = 28m<sup>2</sup> net

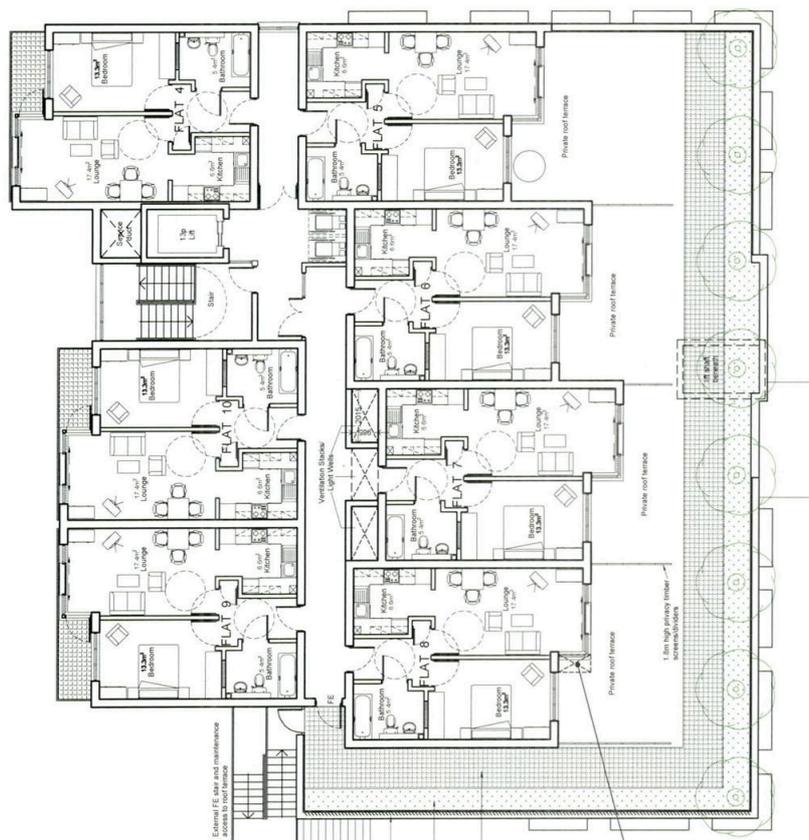
FIRST FLOOR PLAN



Rev	Revision notes	Date
<p><b>HILLINGDON</b> LONDON</p>		
MAJOR CONSTRUCTION PROJECTS 4N/12, CIVIC CENTRE, URBIDGE, MIDDLESEX, UB8 1UW Tel: 01895 277221 Fax: 01895 277224		
PROJECT SOUTH RUISLIP LIBRARY SITE		
PLOT A		
DESCRIPTION LIBRARY BLOCK: PROPOSED FLOOR PLANS FIRST FLOOR PLAN		
SCALE 1:200 @ A3 DRAWN BY 1:100 @ A1 SP		DATE FEB 2010
DRAWING No.		REV.
2009/D42A/19		

NOTES

The Contractor must verify all dimensions at the site before setting out. Any discrepancies must be reported to the Contract Administrator before proceeding.  
DO NOT SCALE FROM THIS DRAWING



Entered E car and maintenance

- Lowline Type fixed privacy high screen, 1.8m high from top of window sill.
- Laminated glass roof perimeter strip
- Roof access height, 1.5m wide
- Manufactured Windows/Window System (to library below)

SECOND FLOOR PLAN



Rev	Revision notes	Index	Date

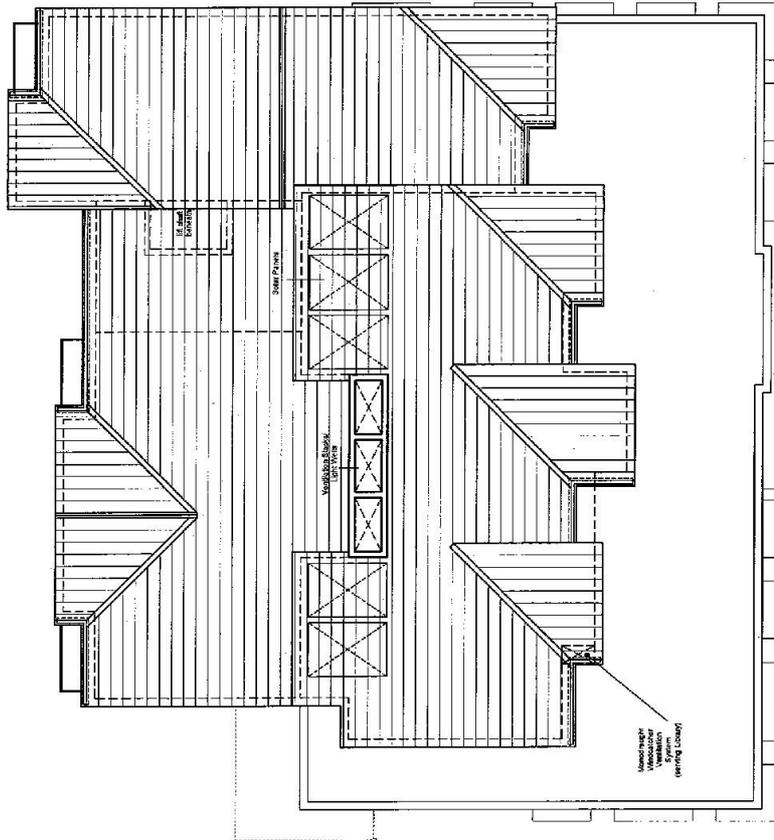
  
**HILLINGDON**  
 LONDON

MAJOR CONSTRUCTION PROJECTS  
 4N/12, CIVIC CENTRE, UXBIDGE, MIDDLESEX, UB8 1UW  
 Tel: 01895 250111  
 Fax: 01895 272224

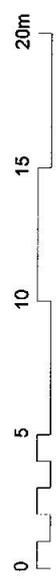
**PROJECT**  
 SOUTH RUISLIP LIBRARY SITE  
**PLOT A**  
**DESCRIPTION**  
 LIBRARY BLOCK: PROPOSED FLOOR PLANS  
 GROUND AND FIRST FLOOR  
 SCALE: 1:200 @ A3 DRAWN BY: DATE: FEB 2010  
 1:100 @ A1 SP  
 DRAWING No. REV  
**2009/D42A/20**

NOTES

The Contractor shall verify all dimensions at this site before setting out. All dimensions must be referred to the Contract Administration before proceeding.  
DO NOT SCALE FROM THIS DRAWING



ROOF PLAN



Row	Revision/Date	Issue	Date

**HILLINGDON**  
LONDON

MAJOR CONSTRUCTION PROJECTS  
4N/12, CIVIC CENTRE, URBAN/REG/MIDDLESEX, URB 10W  
Tel: 01895 272221  
Fax: 01895 272224

PROJECT: SOUTH RUISLIP LIBRARY SITE  
PLOT A

DESCRIPTION: LIBRARY BLOCK: PROPOSED FLOOR PLANS  
GROUND AND FIRST FLOOR

SCALE	1:100 @ A1	DRAWN BY	SP
DATE	FEB 2010		

DRAWING No. **2009/D42A/21**

**NOTES**

The Contractor must verify all dimensions at the site before starting any construction work, to ensure any stop drawings. Any discrepancies must be reported immediately to the architect and no work shall proceed until all dimensions are confirmed.

**DO NOT SCALE FROM THIS DRAWING**

**PROPOSED EXTERNAL FINISHES**

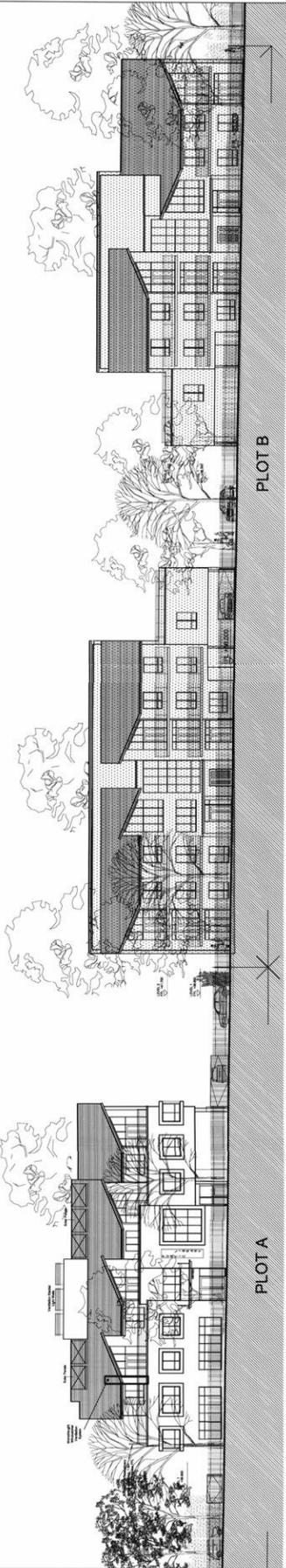
**EXTERNAL WALLS**  
Combination of fairfaced Brickwork and Coloured render finish

**Roof**  
Grey Slates and Solar Panels on 22.5 deg pitched roof

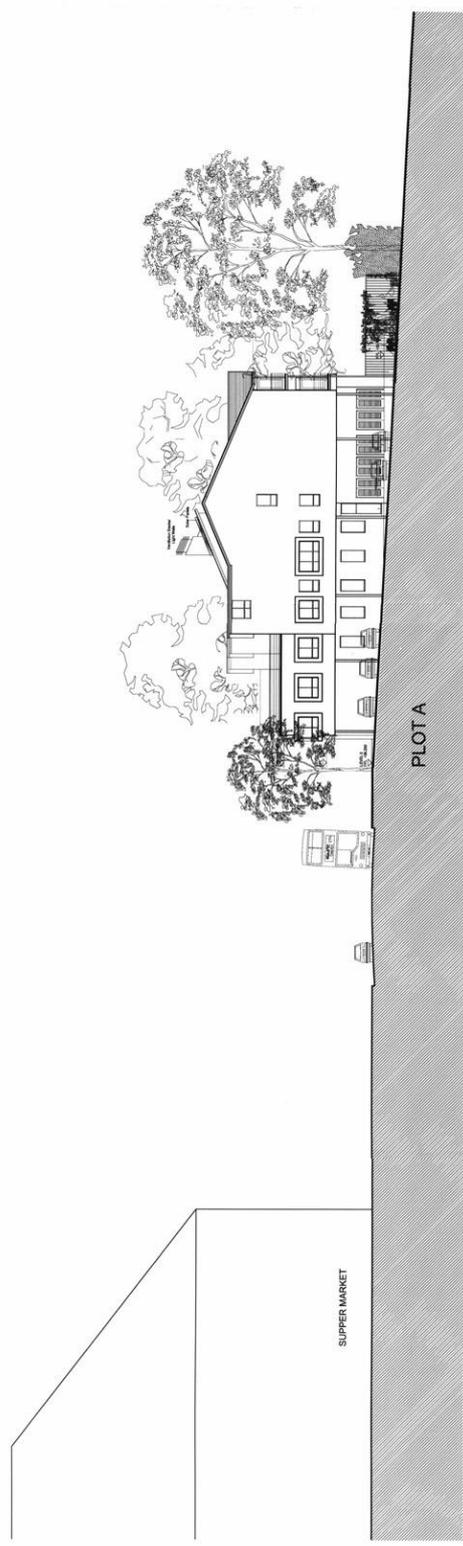
**DOORS & WINDOWS**  
Powder coated Aluminium windows in Grey colour

**BALCONIES**  
Powder coated metal Balustrading

PROPOSED HOUSING DEVELOPMENT  
SUBJECT TO SEPARATE PLANNING APPLICATION



PROPOSED STREET ELEVATIONS SOUTH



PROPOSED SITE ELEVATION SOUTH  
EAST-LIBRARY BLOCK

Rev	Revision notes	Issued	Date

**HILLINGDON**  
LONDON

MAJOR CONSTRUCTION PROJECTS  
4N/12, CIVIC CENTRE, UXBROOGE, MIDDLESEX, UBB 11UW  
Tel: 01895 250111  
Fax: 01895 277224

PROJECT	SOUTH RUSLIP LIBRARY SITE
DESCRIPTION	PLOT A
PROPOSED SITE ELEVATIONS	STREET & SOUTH EAST
SCALE	1:200 @ A1
DRAWN BY	BA
DATE	MAY 2010
DRAWING No.	2009/D42A/P/11
REV.	

**NOTES**

The Contractor must verify all dimensions at the site before setting out commencing work, or making any other drawings. Any discrepancies must be reported immediately to the architect for rectification.

**DO NOT SCALE FROM THIS DRAWING**

**PROPOSED EXTERNAL FINISHES**

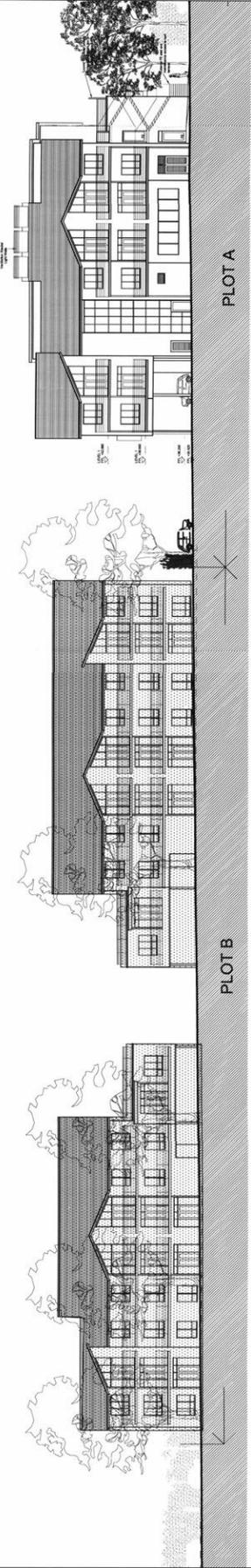
**EXTERNAL WALLS**  
Combination of fairface Brickwork and Coloured render finish

**Roof**  
Grey Slates and Solar Panels on 22.5 deg. pitched roof

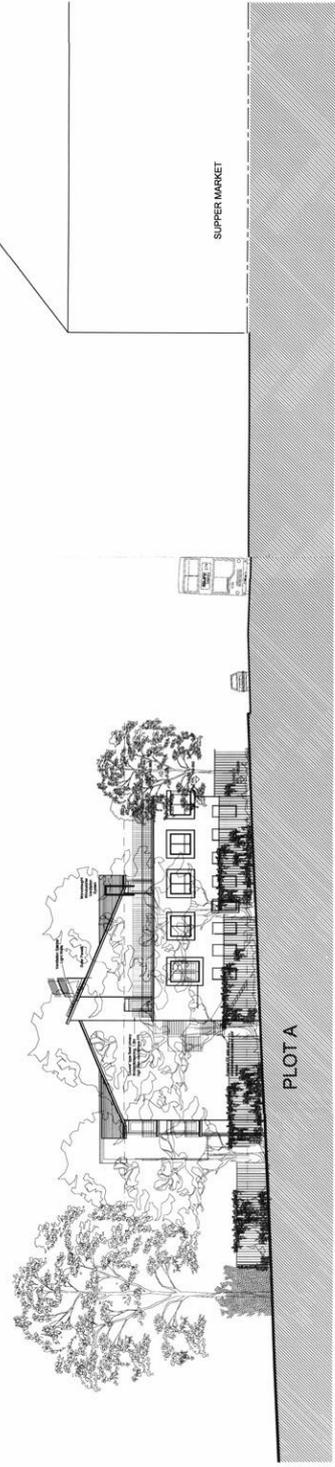
**DOORS & WINDOWS**  
Powder coated Aluminium windows in Grey colour

**BALCONIES**  
Powder coated metal Balustrading

**PROPOSED HOUSING DEVELOPMENT  
SUBJECT TO SEPARATE PLANNING APPLICATION**



PROPOSED REAR ELEVATION NORTH



PROPOSED SITE ELEVATION NORTH  
WEST-LIBRARY BLOCK

Rev	Revision notes	Initials	Date

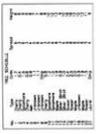
**HILLINGDON**  
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MAJOR CONSTRUCTION PROJECTS  
4N/12, CIVIC CENTRE, UXBIDGE, MIDDLESEX, UB8 1UW  
Tel: 01895 250111  
Fax: 01895 277224

PROJECT	
SOUTH RUISLIP LIBRARY SITE	
PLOT A	
DESCRIPTION	
PROPOSED SITE ELEVATIONS REAR & NORTH WEST	
SCALE	DATE
1:200 @ A1	MAY 2010
DRAWN BY	REV.
BA	
DRAWING No.	
2009/D42A/P/12	

NOTES  
 The Contractor shall verify all dimensions, levels and depths before starting any construction work, or making any site drainage. Any discrepancies must be reported to the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING

Bin No.	Control Schedule	Starting	Finishing	Level
1	01/19/07	01/19/07	01/19/07	35.00
2	01/19/07	01/19/07	01/19/07	35.00
3	01/19/07	01/19/07	01/19/07	35.00
4	01/19/07	01/19/07	01/19/07	35.00
5	01/19/07	01/19/07	01/19/07	35.00
6	01/19/07	01/19/07	01/19/07	35.00
7	01/19/07	01/19/07	01/19/07	35.00
8	01/19/07	01/19/07	01/19/07	35.00
9	01/19/07	01/19/07	01/19/07	35.00
10	01/19/07	01/19/07	01/19/07	35.00



Control Schedule

Level

Starting

Finishing

Bin No.

Control Schedule

Level

Starting

Finishing



**SPECIFICATION FOR LANDSCAPE WORKS**

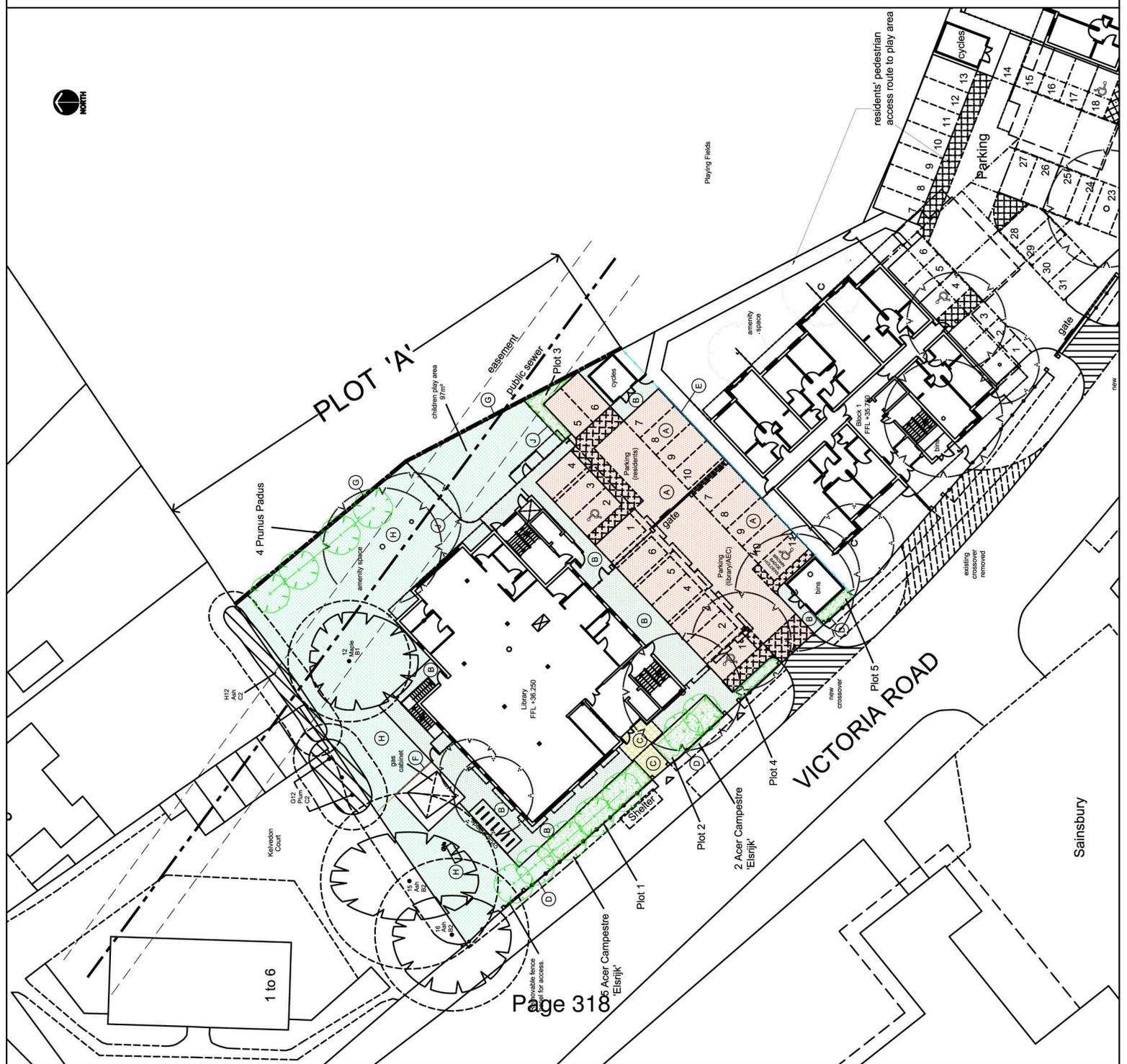
- 1. SITE CLEARANCE**
- 1.1 The Contractor shall collect up and remove to the off site tip all rubbish and surface debris from the total landscaped area.
  - 1.2 Any surface growth covering the landscaped areas shall be cut down to a maximum height of 100mm.
  - 1.3 The Contractor shall identify and apply herbicide spray to totally kill all areas of non-retained vegetation covering the proposed landscaped areas.
- 2. TURFING / SEEDING**
- 2.1 Provide appropriate machinery and cultivate prepared areas for turfing to a minimum depth of 75mm, removing to tip any debris brought to this surface.
  - 2.2 Supply, deliver and lay, 'Reform Metcalister' turf, or an equivalent grade turf, over prepared areas.
  - 2.3 Thoroughly water all turf areas on completion.
- 3. PLANTING**
- 3.1 All plant material shall be supplied, delivered and planted by the Contractor, and shall comply with BS3090 Parts 1, 4 and 5.
  - 3.2 All plants shall be adequately protected from the time of delivery, from whatever source, until planting on site.
  - 3.3 Cultivate soil to shrub checked areas to an average depth of 250mm, incorporating 40 litres of compost per square metre.
  - 3.4 Handle and plant specified material.
  - 3.5 Thoroughly water all planted areas prior to mulching.
- 4. MAINTENANCE AND AFTERCARE PERIOD**
- 4.1 Vegetation control.
  - 4.2 Grass cutting.
  - 4.3 Stakes and ties.
  - 4.4 Organic mulch.
  - 4.5 Weeding.
  - 4.6 Plant replacement.

**KEY**

- Retained Trees
  - Proposed Trees
  - Planted area
- HARD LANDSCAPE**
- Permeable block paving
  - 200x100x85 PPC block
  - Bricks
  - Mosaic paving
  - DBM - Black colour
  - Tegular setts - traditional colour
  - Metal bar fence - 1.5m high, 20mm dia bars, powder coated black
  - Metal bar fence - 1.5m high, 20mm dia bars, powder coated black
  - Timber, close board fence 1.0m high
  - 1.5m high, chain link fence block, plastic coated
  - Grass area
  - Metal bar, hooped top fence, 1.0m high

**SOFT LANDSCAPE - PLANT DETAILS**

no	description	Size at time of planting
1	Trees (rootballed)	
4	Acer campestre 'Elsrijk'	15-18cm girth
4	Acer campestre 'Elsrijk'	12-15cm girth
<b>SHRUB PLANTING (pot grown)</b>		
<b>PLOT ONE</b>		
25	Eucalyptus fortunei 'Silver Queen'	20-30cm
25	Prunus laurocerasus	20-30cm
20	Lavandula 'Hidcote'	20-30cm
20	Genista Lyallii	20-30cm
<b>PLOT TWO</b>		
15	Hebe 'Margorie'	20-30cm
10	Genista Lyallii	20-30cm
10	Lavandula 'Hidcote'	20-30cm
15	Hebe 'Margorie'	20-30cm
15	Hebe 'Margorie'	20-30cm
10	Prunus laurocerasus	30-40cm



**HILLINGDON**

**SOUTH RUISLIP LIBRARY SITE**  
PLOT A

**HARD AND SOFT LANDSCAPE**

Rev: 12/06/20  
S.W.Y. J.H.  
Drawing No: 1  
Project No: EA/1 2452  
Date: JUNE 2010  
Scale: A

NOTES  
 The Contractor must verify all dimensions at the site before starting out. Any discrepancies must be reported to the Contract Administrator before proceeding.  
 DO NOT SCALE FROM THIS DRAWING



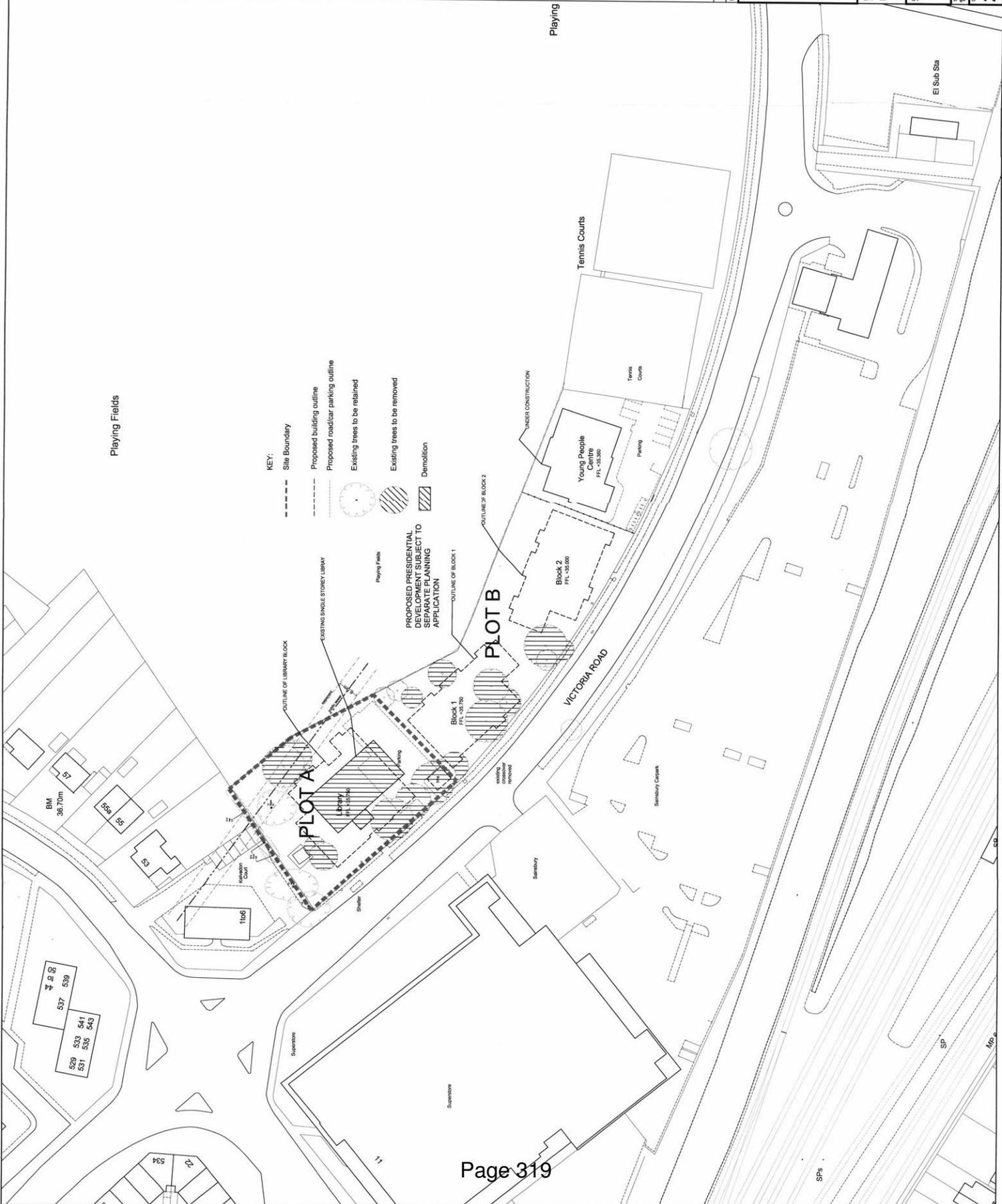
**HILLINGDON**  
LONDON

MAJOR CONSTRUCTION PROJECTS  
 45/12, CIVIC CENTRE, URBISIDE, WOLLESEY, URB 110W  
 TEL: 01895 272 224  
 FAX: 01895 272 224

**SOUTH RUISLIP LIBRARY SITE**  
PLOT A

DESCRIPTION:  
TREE REMOVAL AND DEMOLITION PLAN

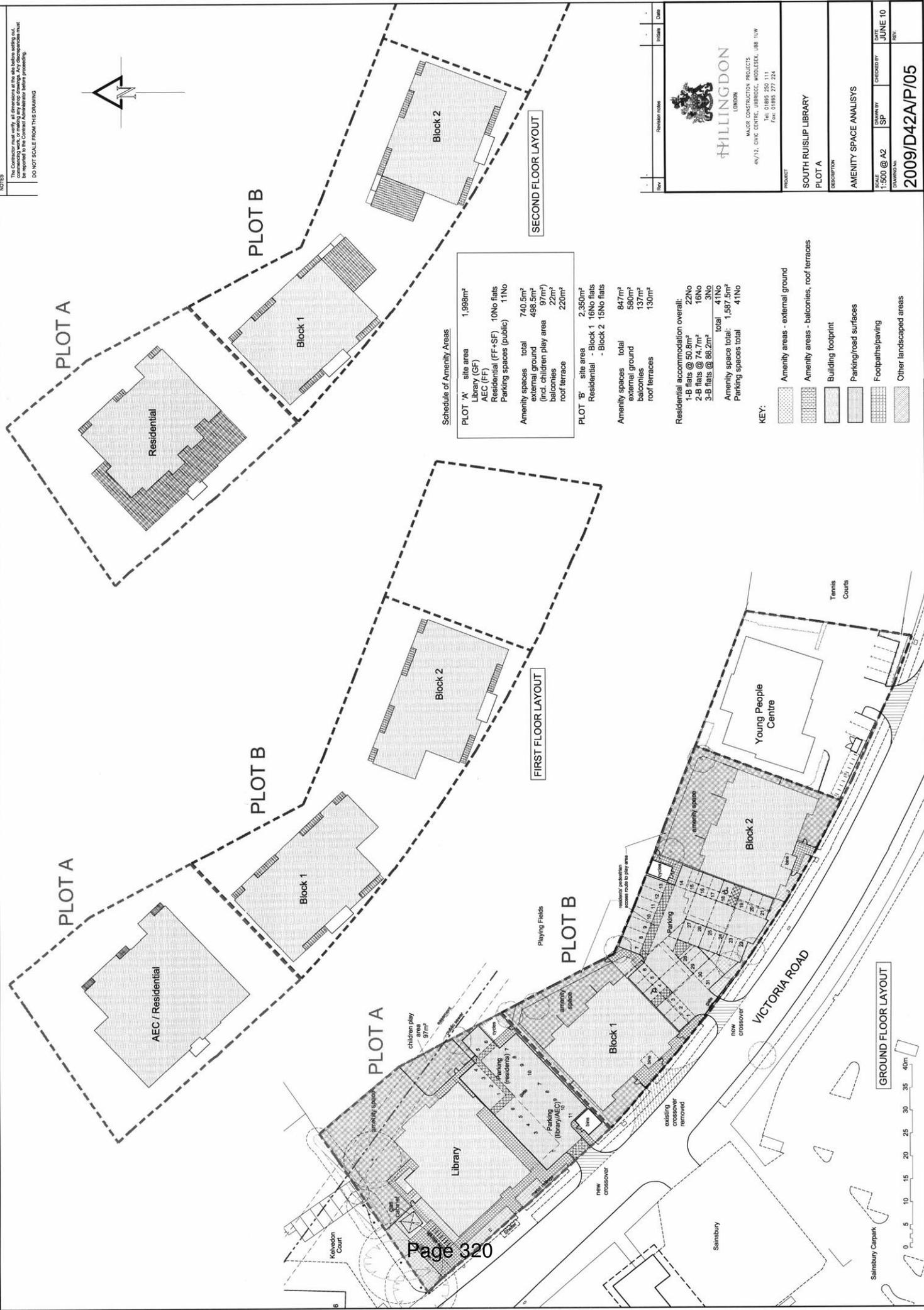
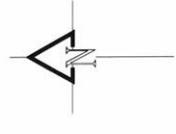
SCALE: 1:500@A1	DRAWN BY: BA	CHECKED BY:	DATE: MAY 2010
DRAWING NO: 2009/D42A/P/04			REVISION:



**NOTES**

The Contractor shall verify all dimensions and levels on the site before starting on construction. Any discrepancies or errors shall be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING



**Schedule of Amenity Areas**

Plot	Site Area	Library (GF)	AEC (FF)	Residential (FF+Sf)	10 No flats	Parking spaces (public)	11 No	Amenity spaces total	external ground (incl. children play area)	balconies	roof terrace
PLOT 'A'	1,998m <sup>2</sup>							740.5m <sup>2</sup>	498.5m <sup>2</sup>	22m <sup>2</sup>	220m <sup>2</sup>
PLOT 'B'	2,350m <sup>2</sup>										
Residential - Block 1	16No flats										
Residential - Block 2	15No flats										
<b>Amenity spaces total</b>	<b>847m<sup>2</sup></b>							<b>580m<sup>2</sup></b>	<b>137m<sup>2</sup></b>	<b>130m<sup>2</sup></b>	

**KEY:**

- Amenity areas - external ground
- Amenity areas - balconies, roof terraces
- Building footprint
- Parking/road surfaces
- Footpaths/paving
- Other landscaped areas

**Residential accommodation overall:**

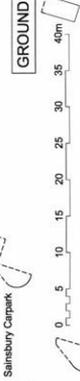
- 1-B flats @ 50.8m<sup>2</sup> 22No
- 2-B flats @ 74.7m<sup>2</sup> 16No
- 3-B flats @ 88.2m<sup>2</sup> 3No
- total 41No**

**Amenity space total: 1,587.5m<sup>2</sup>**  
**Parking spaces total 41No**

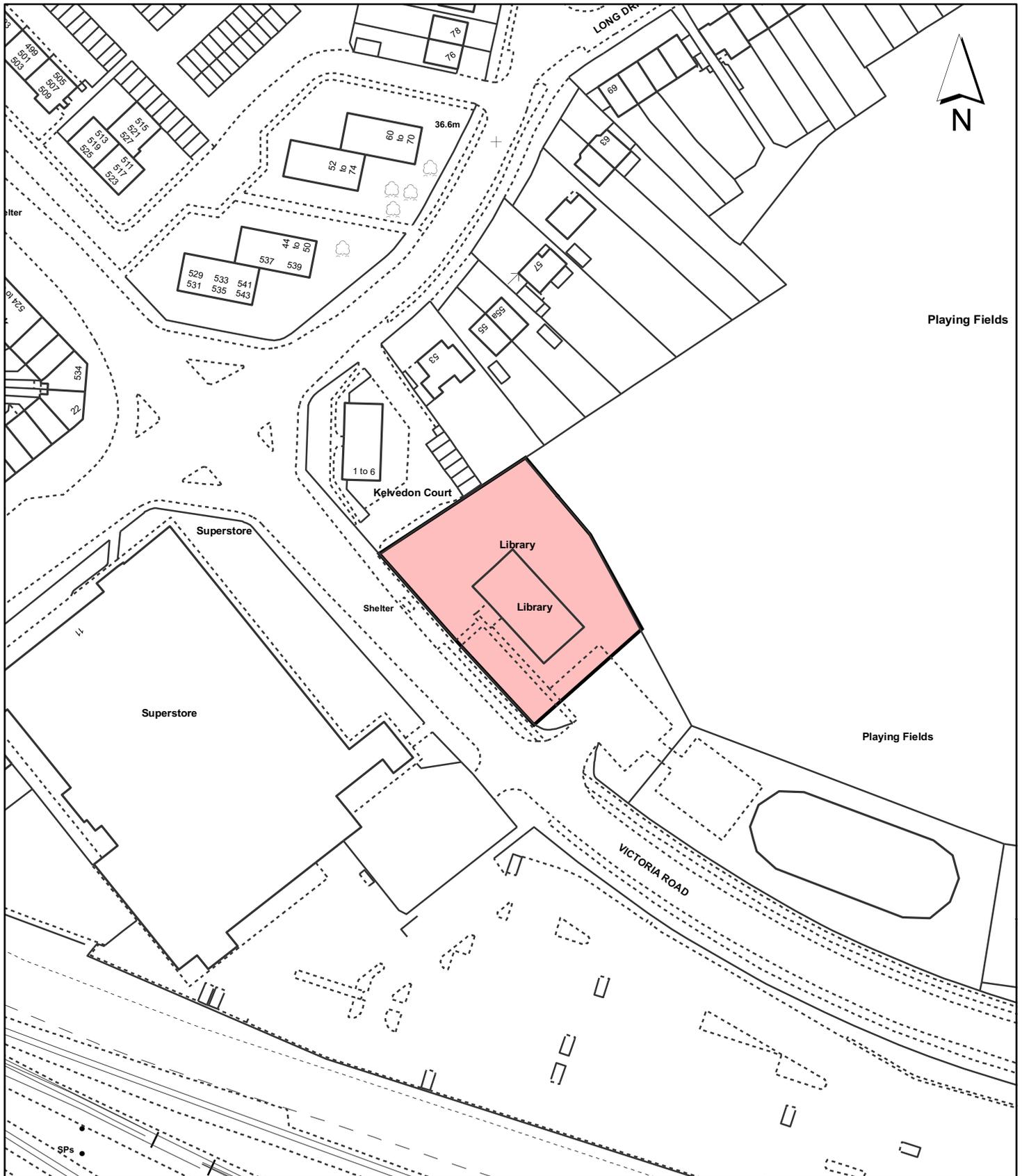
**SECOND FLOOR LAYOUT**

**FIRST FLOOR LAYOUT**

**GROUND FLOOR LAYOUT**



Revision notes	Issued	Date
MAJOR CONSTRUCTION PROJECTS 4th/12, CIVIC CENTRE, URBISIDE, WIDLESEX, W8 1JW Tel: 01895 250 111 Fax: 01895 257 224		
PROJECT: SOUTH RUISLIP LIBRARY		
DESCRIPTION: PLOT A		
AMENITY SPACE ANALYSIS		
SCALE: 1:500 @ A2	DESIGNED BY: SP	CHECKED BY: JUNE 10
DRAWING NO: 2009/D42A/P/05		REV:



**Notes**

 Site boundary

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Site Address	
<b>South Ruislip Library Plot A, Victoria Road Ruislip</b>	
Planning Application Ref:	Scale
<b>67080/APP/2010/1419</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 321	<b>July 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



HILLINGDON

LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** 53 PINN WAY RUISLIP

**Development:** Erection of a two storey rear extension and single storey side extensions.

**LBH Ref Nos:** 1244/APP/2009/2425

**Date Plans Received:** 10/11/2009

**Date(s) of Amendment(s):**

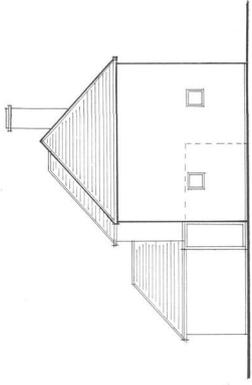
**Date Application Valid:** 12/11/2009

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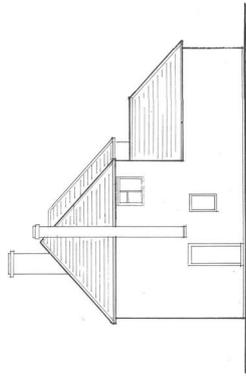
studio 5 architects ltd.

REV	DETAILS	DATE
	LOUVERED ROOFWAY OF HALL AND STAIR RECEIVED	10 NOV 2019
	PLANNING & COMMUNITY SERVICES	

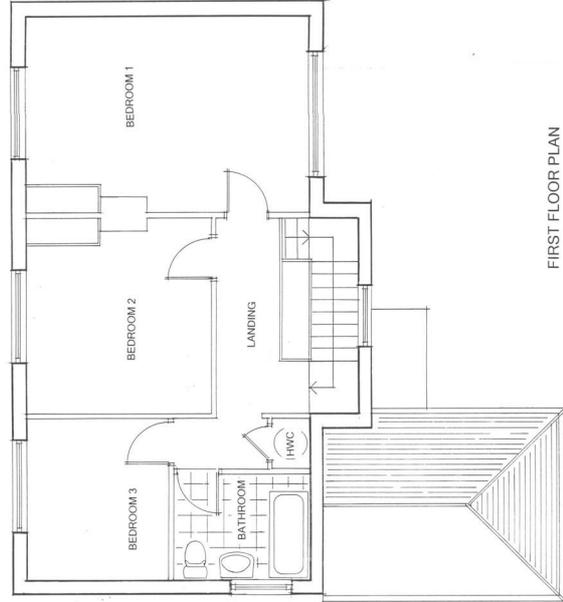
DRAWING SURVEY AS EXISTING  
 PLANS AND ELEVATIONS  
 PROJECT 53 PINN WAY  
 RUISLIP  
 MIDDLESEX  
 SCALE 1:100/1:50  
 DATE Apr 09  
 PROJECT NO. 09:383  
 DRAWING NO. 01  
 Northgate studios, 12 Northgate, Chichester, PO19 1BA  
 T: 01243 528811  
 F: 01243 536025  
 E: mail@studio5architects.co.uk  
 www.studio5architects.co.uk



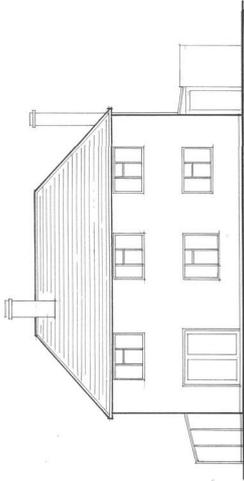
SOUTH ELEVATION



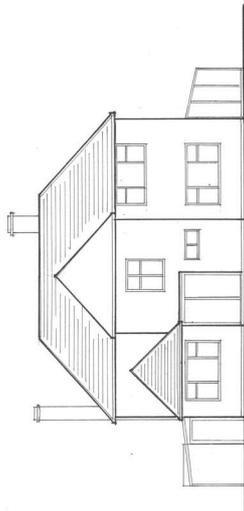
NORTH ELEVATION



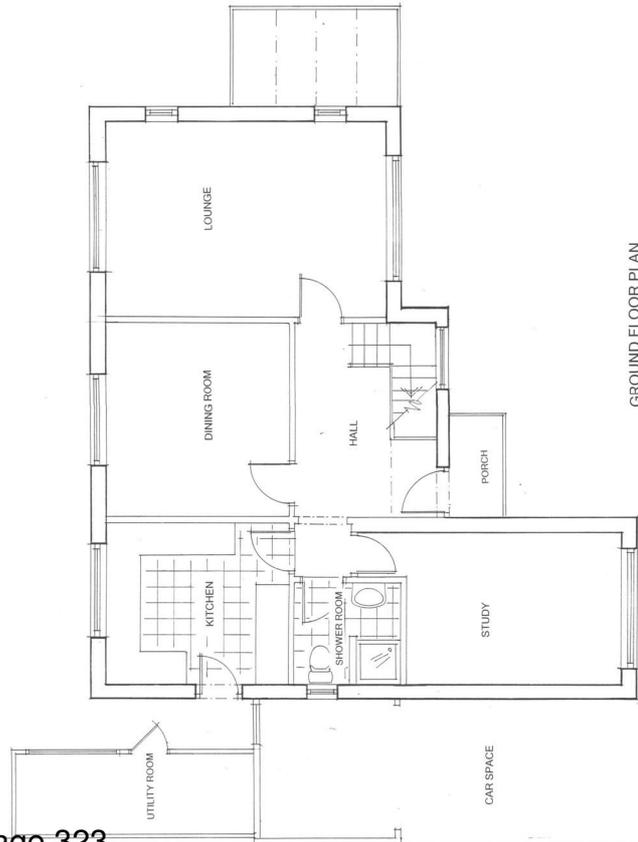
FIRST FLOOR PLAN



REAR ELEVATION (EAST)



FRONT ELEVATION (WEST)



GROUND FLOOR PLAN



NOTES

CONTRACTOR TO TAKE MEASUREMENTS TO THIS PLAN. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED. ARCHITECTS AND MAY NOT BE REPRODUCED OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUDIO 5 ARCHITECTS LTD. DRAWINGS ARE NOT TO BE SCALED. FIGURED DIMENSIONS ONLY ARE TO BE FOLLOWED TO

PLANNING AMENDMENTS  
 10 OCT 2009  
 10 OCT 2009  
 10 OCT 2009

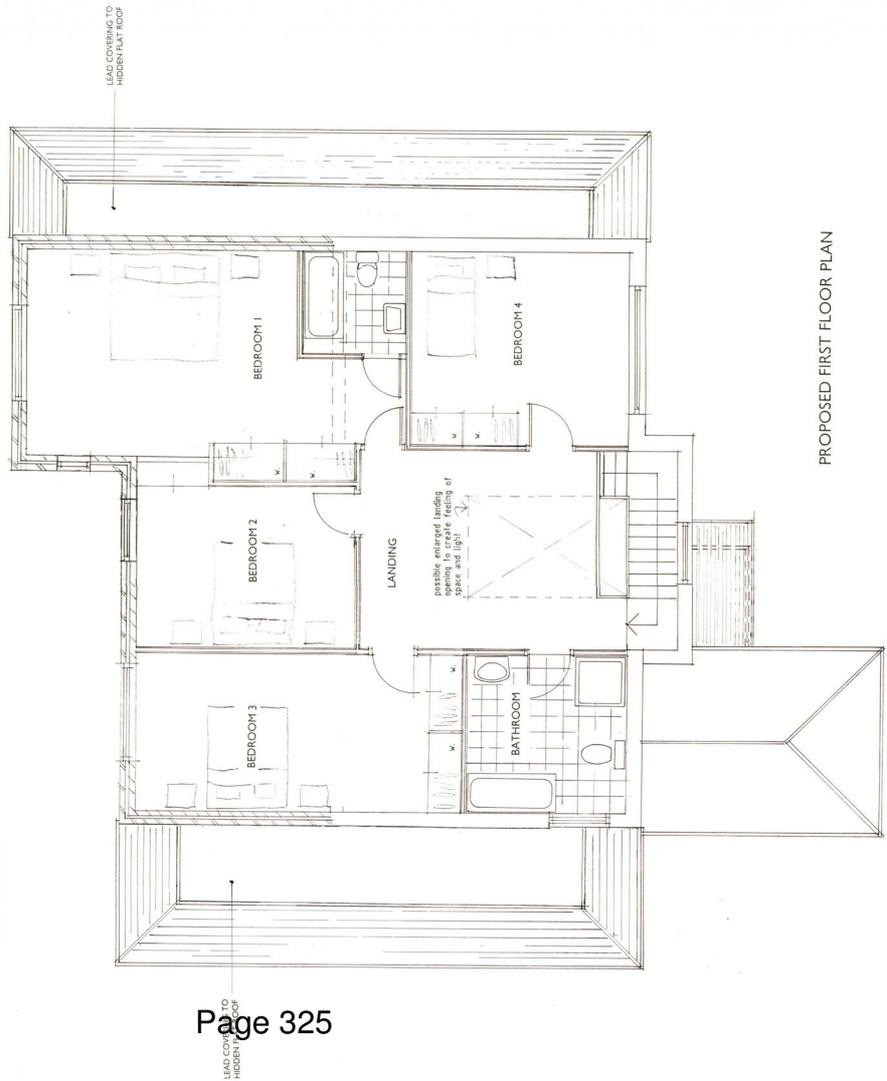
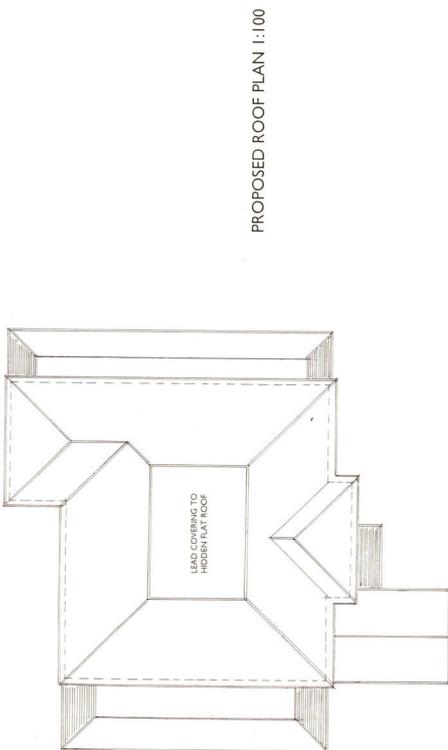
B PLANNING AMENDMENTS  
 A  
 REV DETAILS DATE  
 Oct09

drawing:

job:

studio 5 architects ltd.  
 DRAWING PROPOSED FIRST FLOOR PLAN  
 LOCATION & BLOCK PLAN  
 PROJECT 53 FINN WAY  
 RUISLIP  
 MIDDLESEX HA4 7QG  
 SCALE 1:500/1:1250  
 DATE May '09  
 PROJECT NO. 09-383  
 DRAWING NO. 03 B  
 Northlake Office, 12 Northgate, Chichester, PO19 1BA  
 T: 01243 828811  
 F: 01243 836225  
 E: mail@studio5architects.co.uk  
 www.studio5architects.co.uk

drawing status:





**Notes**

 Site boundary

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Site Address

**53 Pinn Way  
Ruislip**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**1244/APP/2009/2425**

Scale  
**1:1,250**

Planning Committee  
**North** Page 326

Date  
**July 2010**



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** THE FERNS WITHY LANE RUISLIP

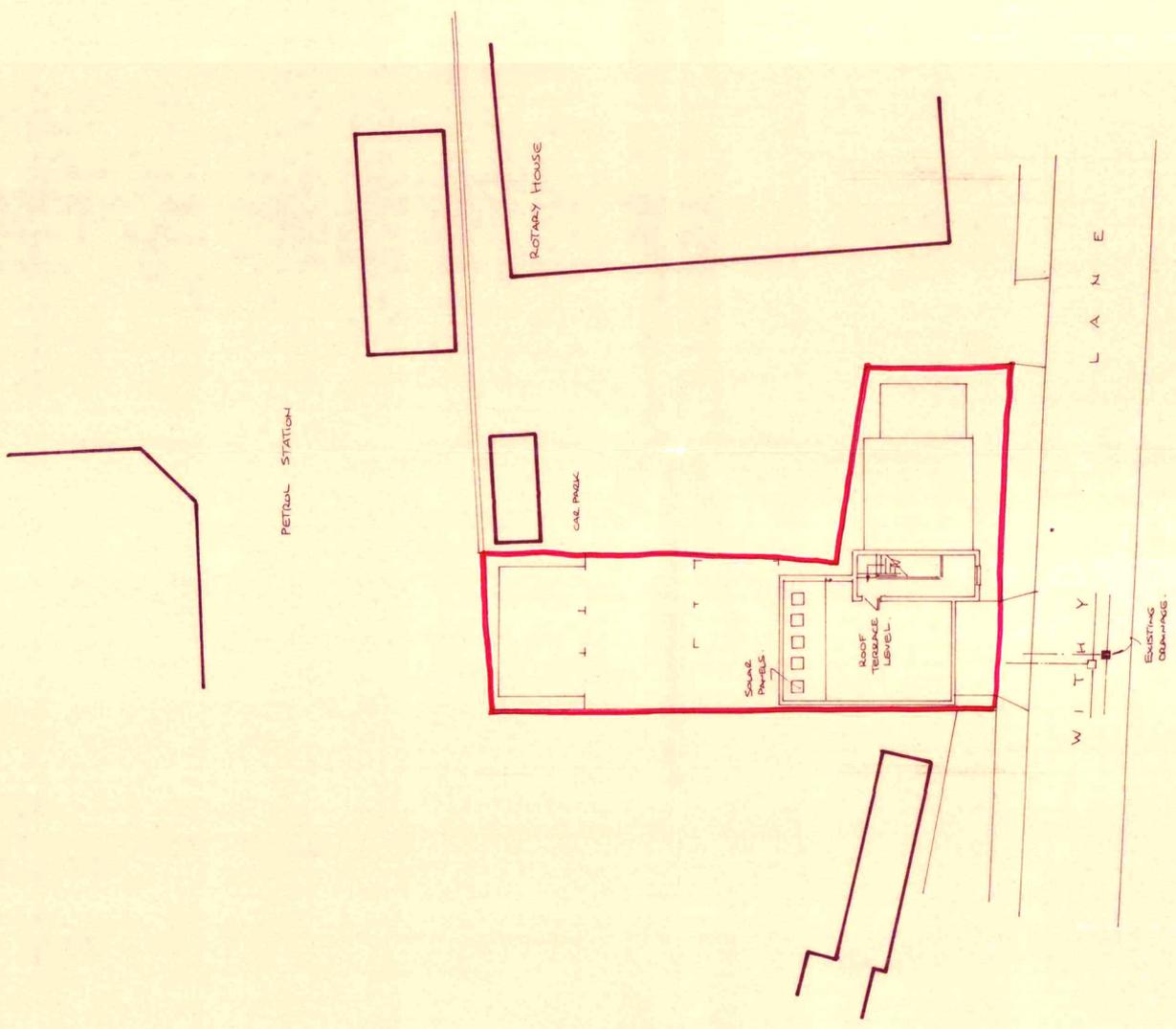
**Development:** Demolition of existing industrial building and erection of a block of 5 flats with associated parking (outline application.)

**LBH Ref Nos:** 6885/APP/2009/2650

**Date Plans Received:** 07/12/2009

**Date(s) of Amendment(s):**

**Date Application Valid:** 23/12/2009



LUN BURD OF HILLINGDON  
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- 8 DEC 2009  
PLANNING & TRANSPORTATION  
GROUP

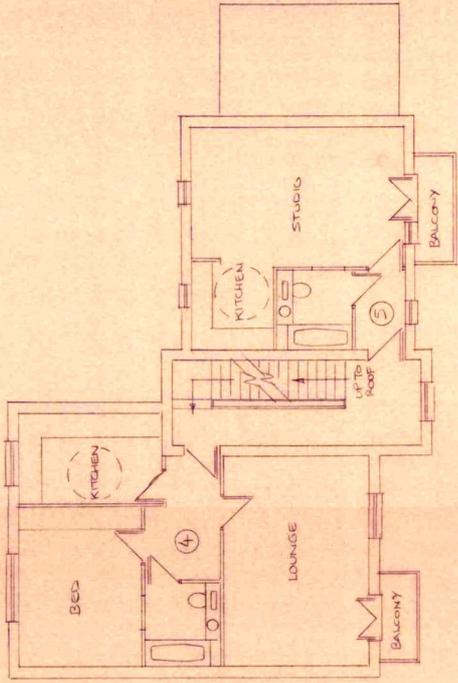
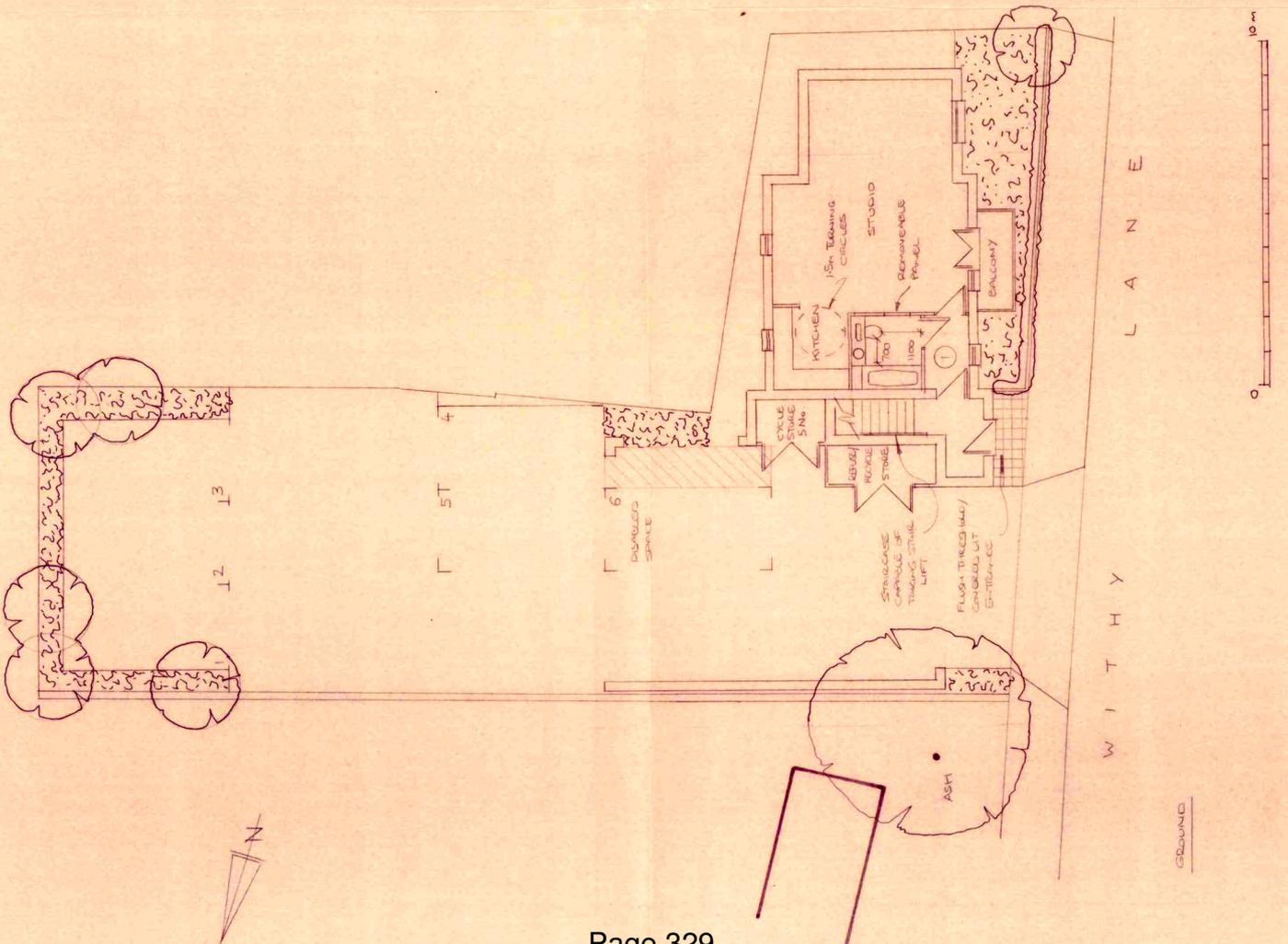
BLOCK PLAN / ROOF PLAN

Project No.	05/304/8	Revision	
Date	27/10/09	Drawn by	H
Scale	1:200	Check	

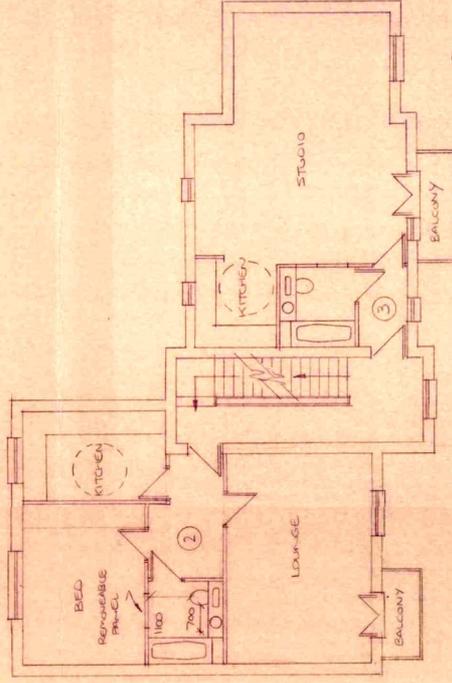
**W J Macleod**  
ARCHITECT  
175 High Street, Birmingham B2 4DP, UK. Tel: 0121 4540000

LAND AT WITHEY LANE,  
RUISLIP, MIDDX.





SECOND



FIRST

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FLOOR PLANS

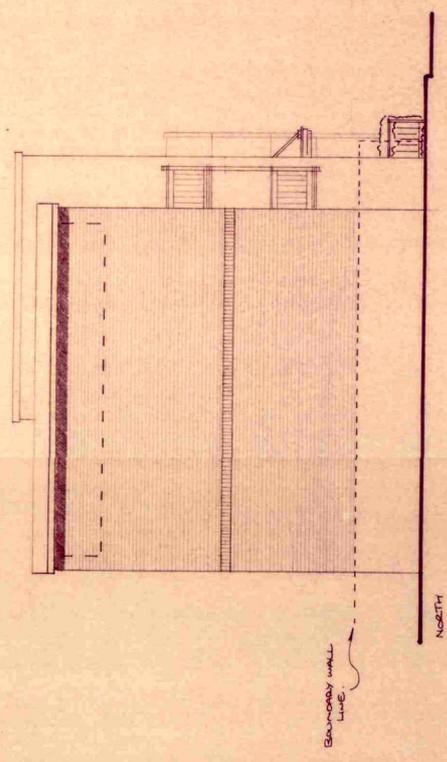
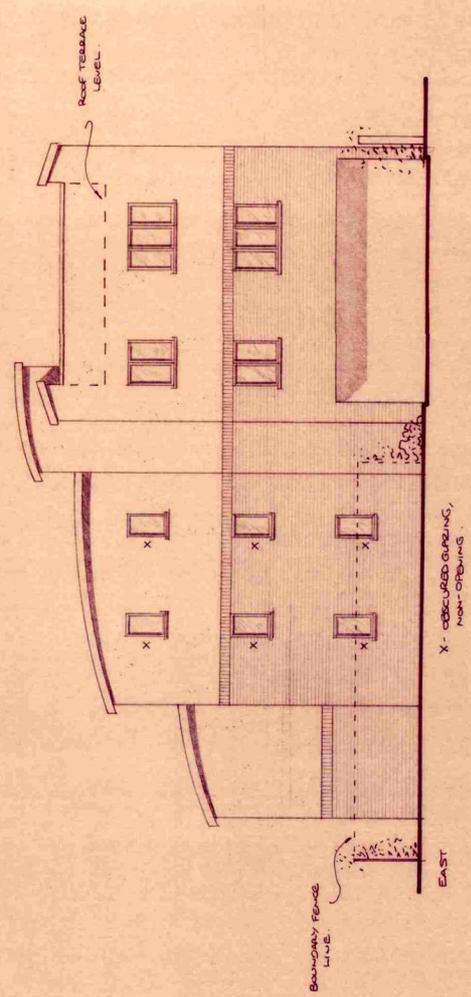
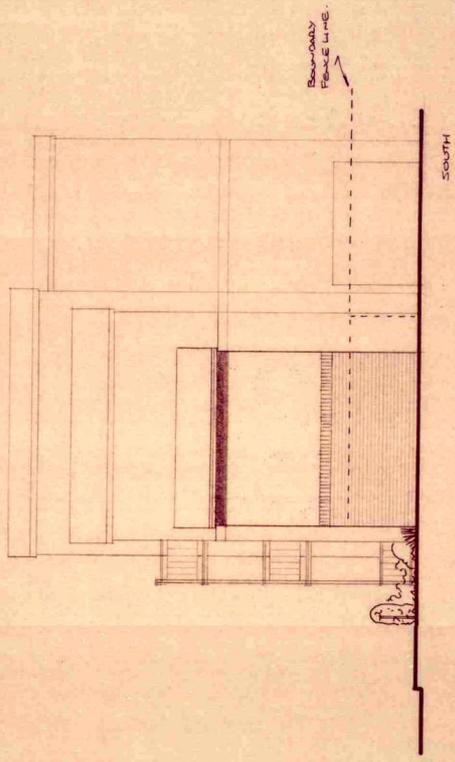
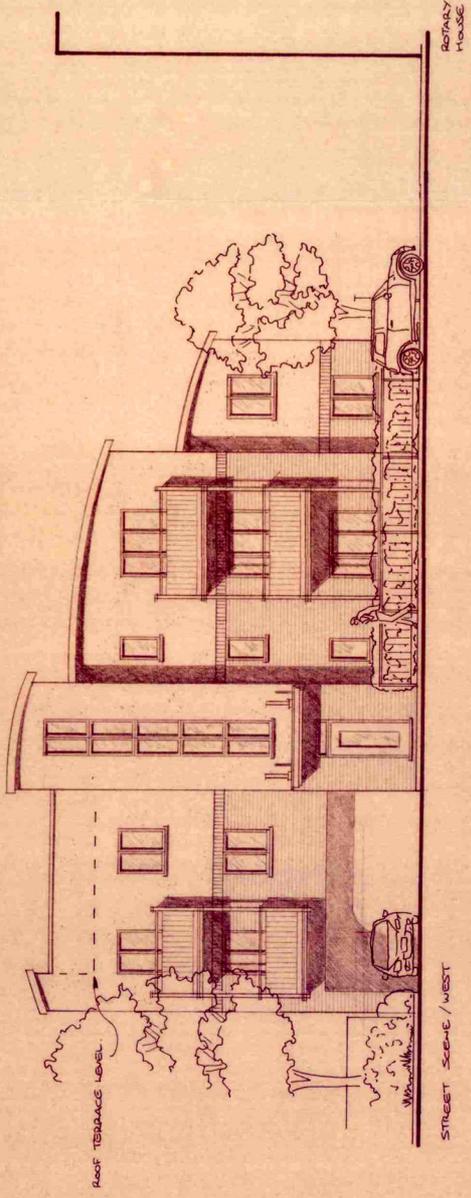
Drawn by	05 / 3024 / 9
Checked by	26 / 10 / 09
Date	100
Scale	H

**W J Macleod**  
ARCHITECT

27th May 2009  
Ruislip, Middx. UK. Tel: 01895 212200

LAND AT WITHY LANE,  
RUISLIP, MIDDX.

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 Rev. A. Calculated plots / S&S shown on 22/11/09.  
 NORTH ELEVATION.



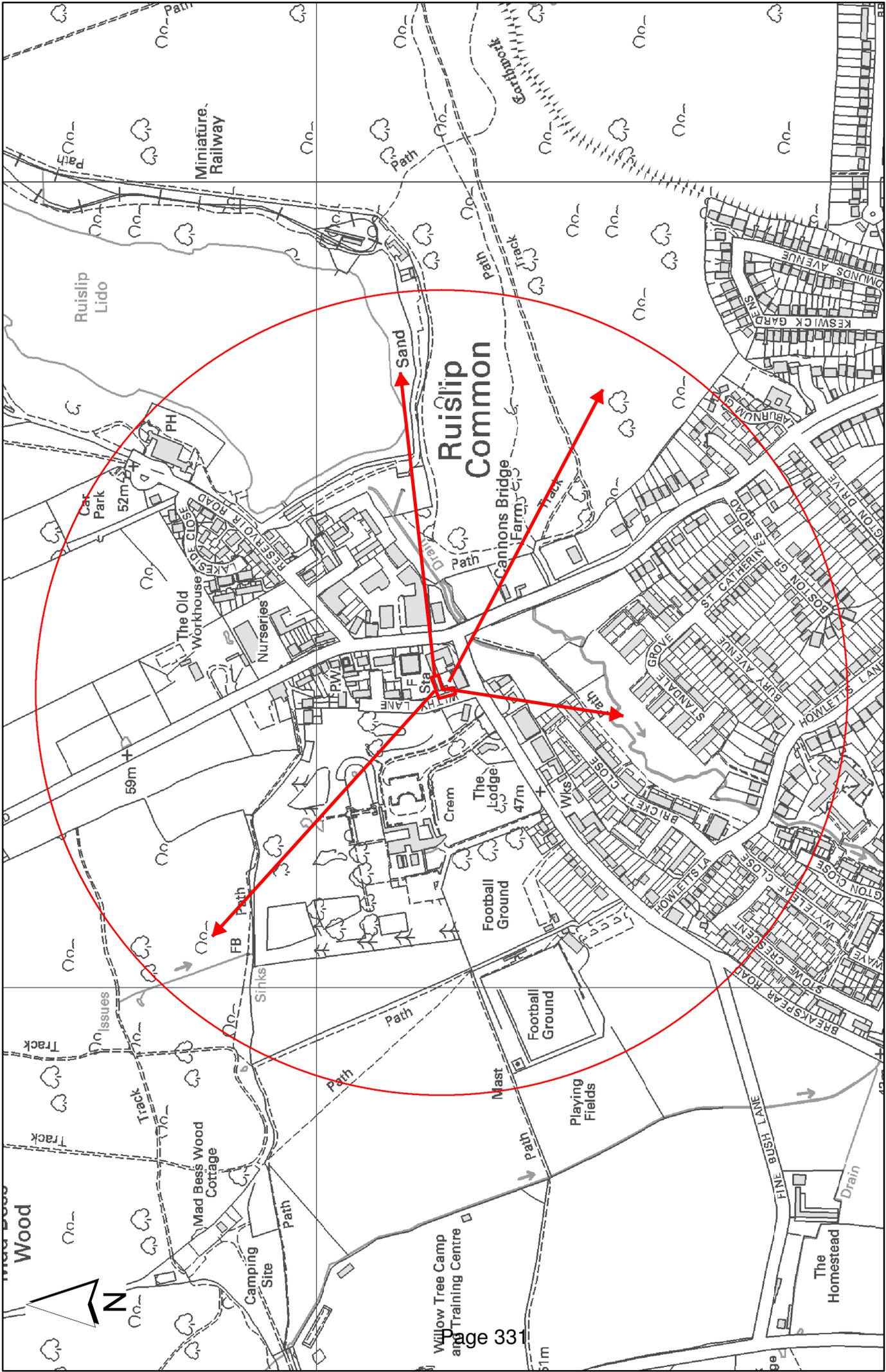
Drawing Number	05/3024/10	Revision	A
Date	27/10/09	Drawn by	H
Scale	1:100	Draw Reference	

**W J Macleod**  
 ARCHITECT  
 171 Mythen Quay, Dublin 6, Ireland. Tel: 01 454 5000

LAND AT WITTHY LANE,  
 RUISLIP, MIDDX.

STREET SCENE / ELEVATIONS



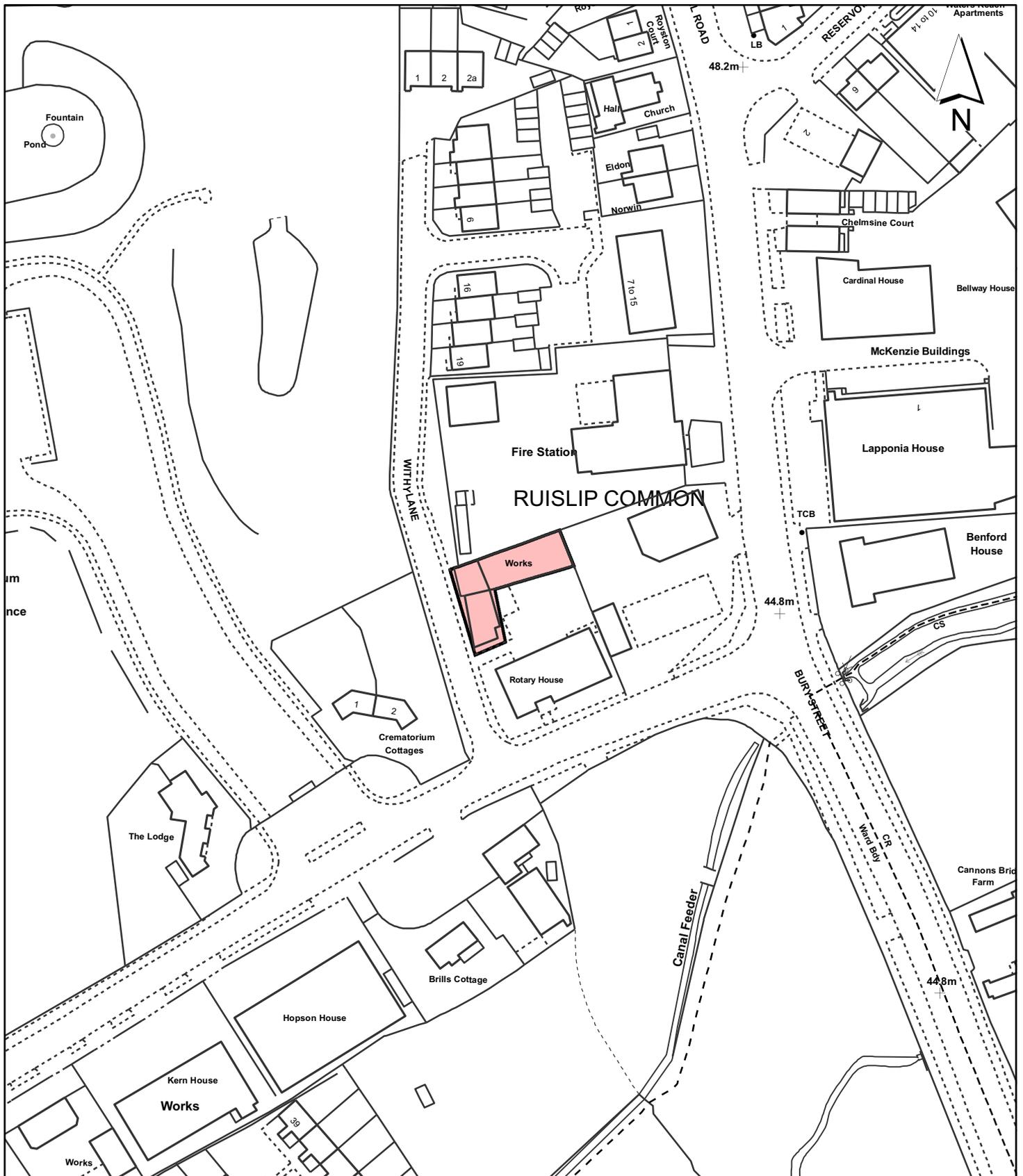


# The Ferns Withy Lane, Ruislip

500 m radius around site with arrows to amenity areas

1:6,000

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Site Address

**The Ferns  
Withy Lane  
Ruislip**

Planning Application Ref:

**6885/APP/2009/2650**

Planning Committee

**North** Page 332

Scale

**1:1,250**

Date

**May 2010**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** HAREFIELD HOSPITAL HILL END ROAD HAREFIELD

**Development:** Erection of 1 single storey temporary hospital building and clinical waste bin store, involving demolition of existing temporary office and clinical waste bin store.

**LBH Ref Nos:** 9011/APP/2010/1120

**Date Plans Received:** 18/05/2010

**Date(s) of Amendment(s):**

**Date Application Valid:** 10/06/2010

**Report of the Head of Planning & Enforcement Services**

**Address**

HAREFIELD HOSPITAL HILL END ROAD HAREFIELD

**Development:**

Demolition of existing temporary office and clinical waste bin store  
(Application for Conservation Area Consent.)

**LBH Ref Nos:**

**9011/APP/2010/1121**

**Date Plans Received:** 18/05/2010

**Date(s) of Amendment(s):**

**Date Application Valid:** 10/06/2010



NOTES:  
 1. Areas of existing office and changing facilities, which are to be retained for healthcare, are shown in yellow.  
 2. Existing temporary office accommodation, linking accommodation, linking accommodation, linking accommodation & canopy to be removed.

KEY  
 Areas of existing office and changing facilities, which are to be retained for healthcare.  
 Existing temporary office accommodation, linking accommodation, linking accommodation & canopy to be removed.

LOW RISK OF COLLISION RECEIVED  
 18 MAY 2010  
 PLANNING & TRANSPORTATION GROUP



ARCHITECTS AND PLANNING CONSULTANTS  
 PARTNERSHIP  
 COMMERCIAL FLOOR SUITE PARTNERSHIP  
 Royal Brompton & Harefield NHS Trust  
 Harefield Cathedral  
 Harefield, Bucks HP8 4RN  
 Tel: 01895 8444 974  
 Fax: 01895 8444 976  
 20.04.10  
 Scale: 1:100 @ A1  
 Ref: P10-002  
 DW







NOTES:  
DO NOT SCALE. ALL DIMENSIONS TO BE CHECKED ON SITE  
BEFORE AND REVISIONS TO BE REPORTED TO THE ARCHITECT



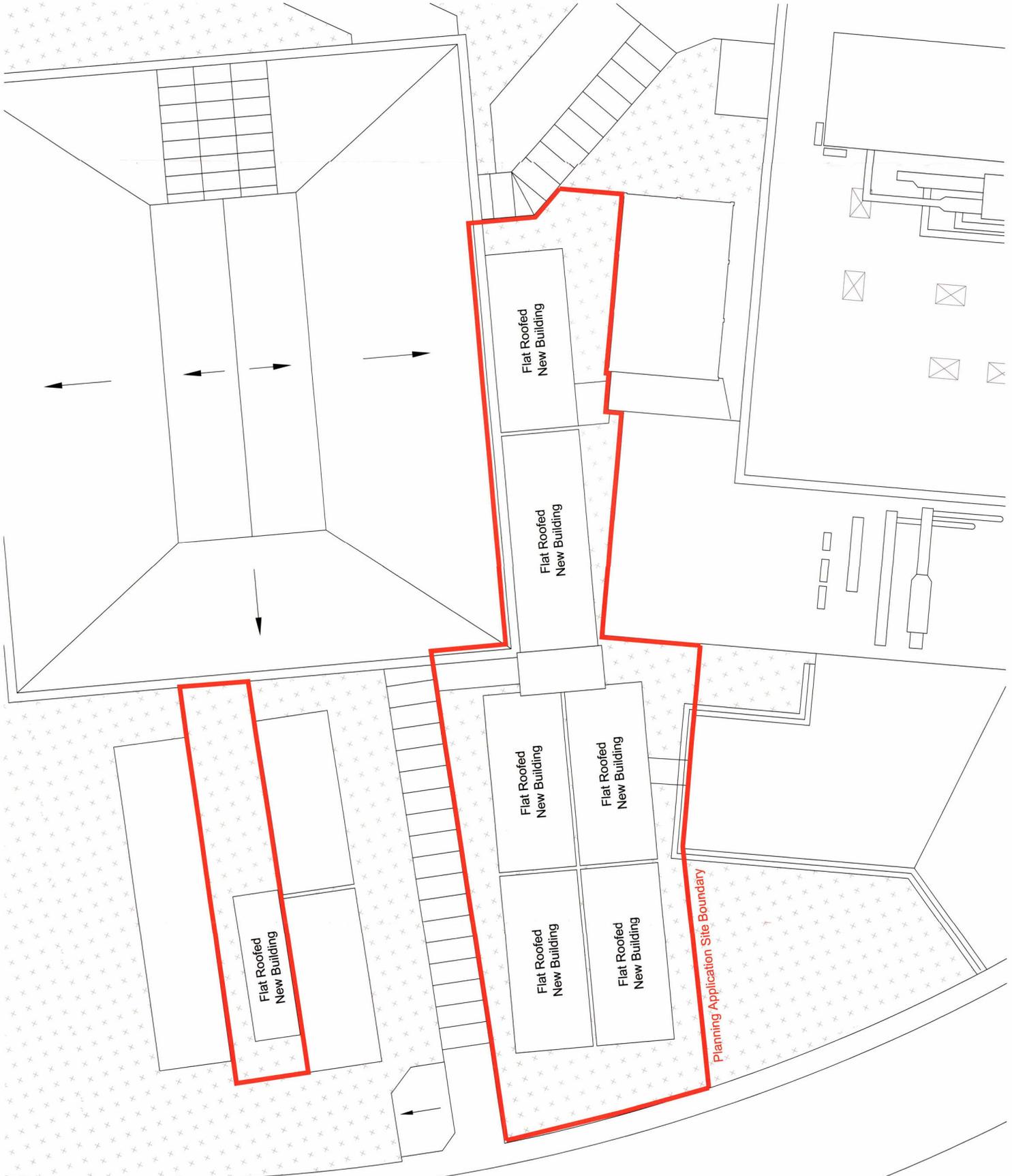
LOW BOARD OF HULLINGDON  
RECEIVED  
18 MAY 2010  
PLANNING & TRANSPORTATION  
GROUP

Rev.	Date	Description	Drawn	Checked
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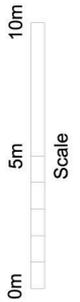
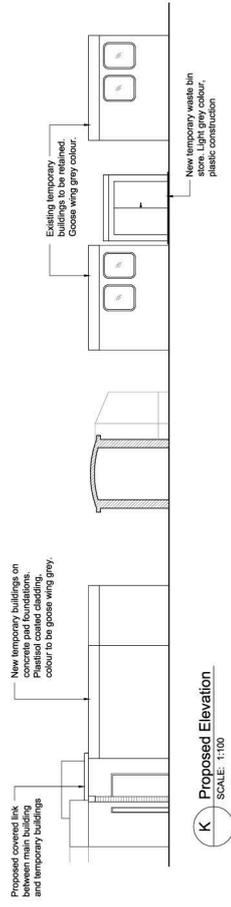
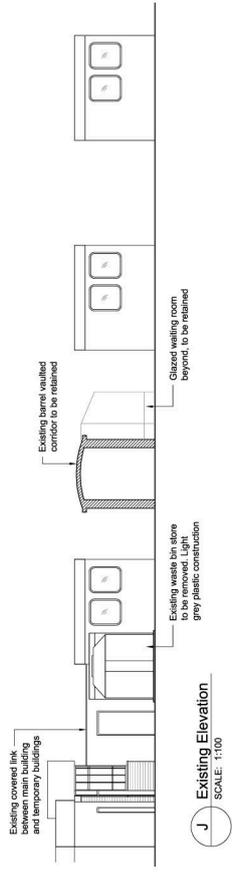
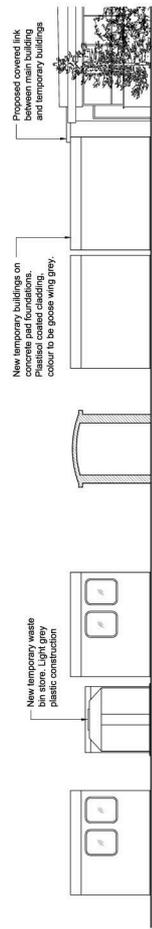
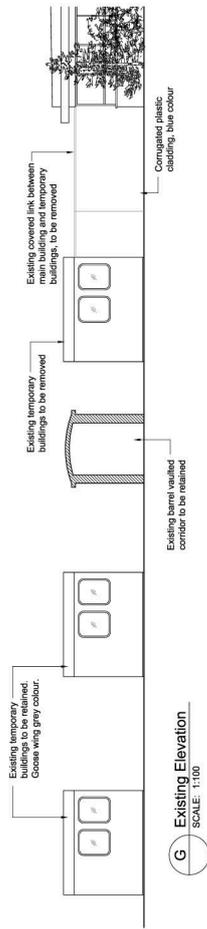
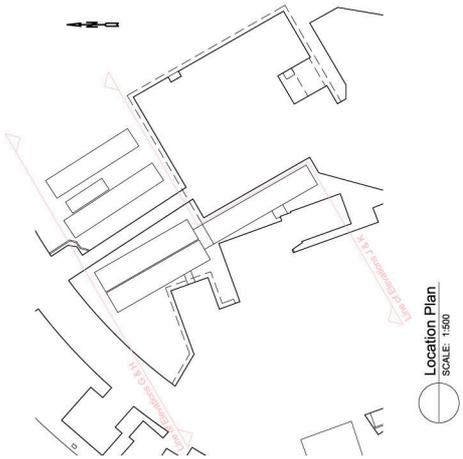
**FLOYD SLASKI**  
ARCHITECTS  
CONSULTANTS  
PARTNERSHIP  
33 St George's Road  
Wolverhampton WV6 1AA  
Tel: 01902 884433  
Fax: 01902 884434

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Harefield Gatheter  
Proposed Roof Plan

Scale: 1:100 @ A1  
Date: 29.04.10  
Sheet: 01M  
Title: P30-001  
No: 4121  
Rev: DW



NOTES:  
 1. ALL DIMENSIONS TO BE CHECKED ON SITE  
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 3. ALL DIMENSIONS TO BE CHECKED ON SITE



REV	DATE	DESCRIPTION	DWG
1	08.06.10	Planning Issue	

**FLOYD SLASKI**  
 ARCHITECTS  
 CONSULTANTS

10, St. Nicholas Lane  
 101, Fenny Stratford, Bucks  
 HP84 1JY, UK  
 Tel: 0295 8944 2721  
 Fax: 0295 8944 2729

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Client:  
 Royal Brompton &  
 Harefield NHS Trust

Project:  
 Harefield Catheter

Scale:  
 1:100 @ A1

Date:  
 04.06.10

Drawn:  
 BIM

Checked:  
 BIM

Proj. No.  
 P20-003

Sheet:  
 4/21

DN

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 5. ALL DIMENSIONS TO BE CHECKED ON SITE.

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 18 MAY 2010  
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ARCHITECTS  
 PLANNING  
 CONSULTANTS  
 27, The Square, Harefield, Bucks, HP85 9JQ  
 Tel: 0295 8944 2751  
 Fax: 0295 8944 2798

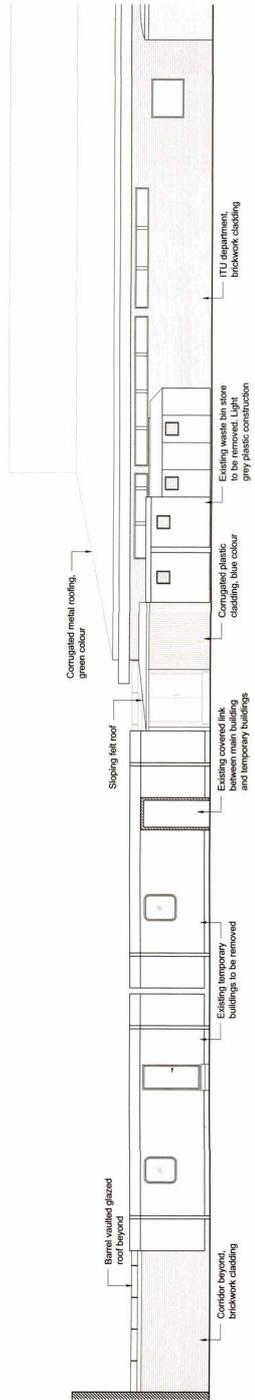
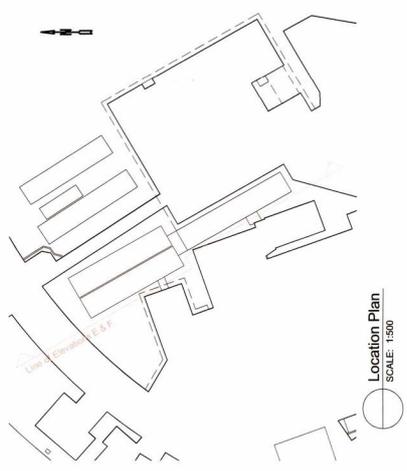
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ROYAL BROMPTON &  
 HAREFIELD NHS TRUST

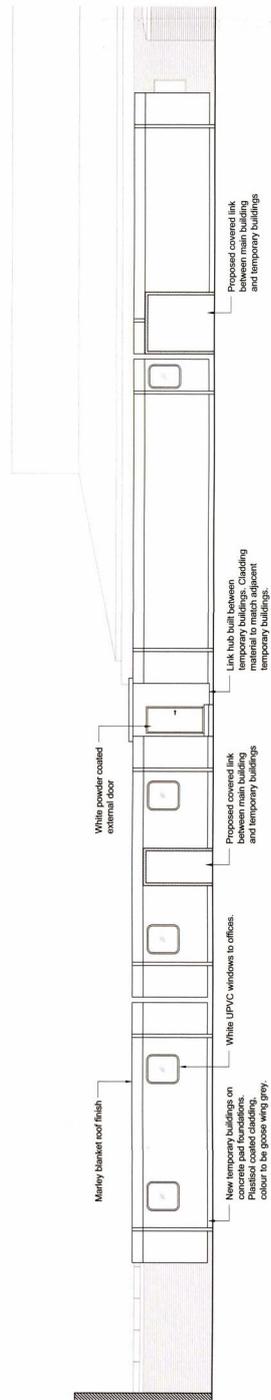
Harefield Catheter

Existing and Proposed  
 NE Façade  
 Offices & Changing Facilities

Scale: 1:100 @ A1  
 Date: 04.05.10  
 Project: BHM  
 Drawing No: PZ0-002  
 DW

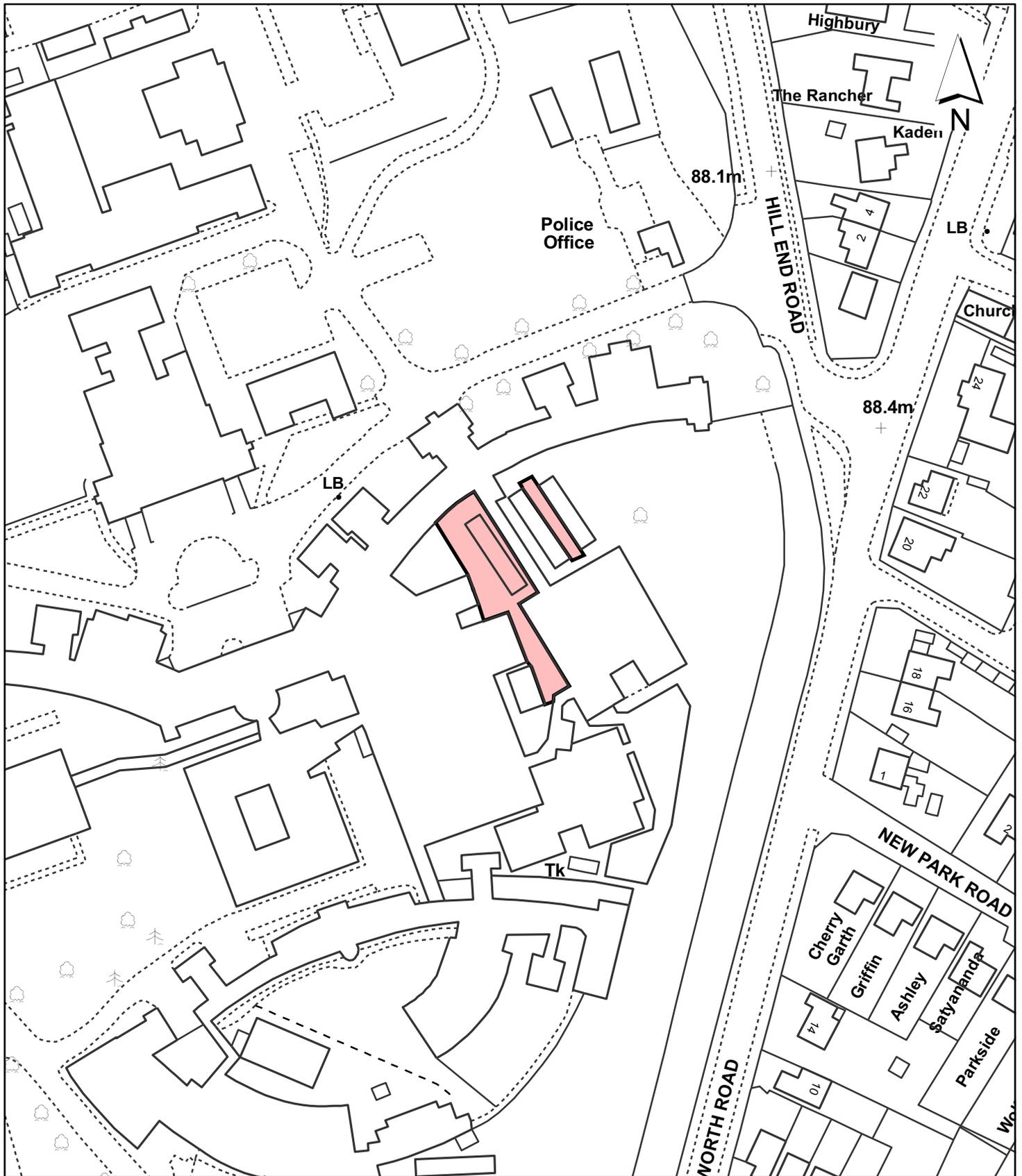


E Existing Elevation  
 SCALE: 1:100



F Proposed Elevation  
 SCALE: 1:100





**Notes**

 Site boundary

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Site Address	
<b>Harefield Hospital Hill End Road Harefield</b>	
Planning Application Ref:	Scale
<b>9011/APP/2010/1120</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 343	<b>July 2010</b>

**LONDON BOROUGH OF HILLINGDON**

**Planning & Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**Report of the Head of Planning & Enforcement Services**

**Address** KYLEMORE HOUSE HILL END ROAD HAREFIELD  
**Development:** Alterations to front boundary to include new gate and fencing involving removal of existing wall, pillars, railings and gates.  
**LBH Ref Nos:** 46539/APP/2010/1396

<b>Date Plans Received:</b>	15/06/2010	<b>Date(s) of Amendment(s):</b>	15/06/2010
<b>Date Application Valid:</b>	23/06/2010		08/07/2010

Proposed access road from Highway to be made from a Porous material to allow for easy Rainwater soakaway and minimal impact on Existing surrounding Trees. A suitable material to use for this purpose is 'Bark Chippings'. These are cost effective and provide an eco-balance within a Woodland area. In order to satisfy TPO guidelines for Driveways being build within close proximity to protected Trees, a 'Newweb' solution can be incorporated to ensure Tree Roots are not damaged through digging, as well as allowing the Roots to obtain Water and Oxygen. This is achievable by using a permeable wearing course. This proposal has been designed following the 'no dig' construction methods

Existing Trees on site to be protected during and after development

Existing Landscaping and Greenery to be retained and protected during and after development

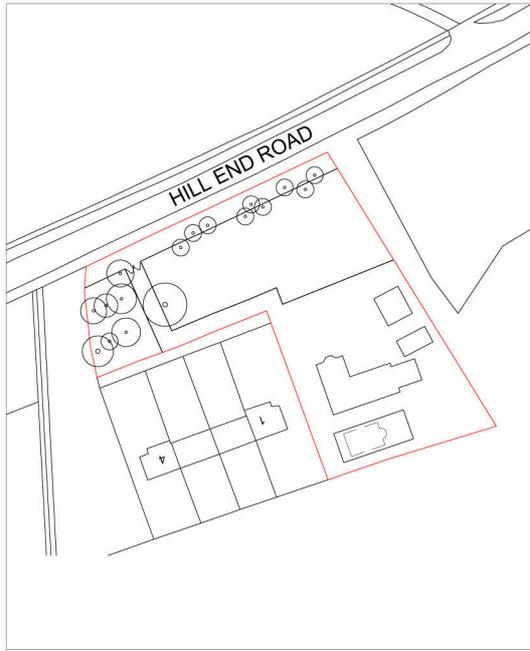
Proposed Front Access (Northern) to be retained with 2m High Timber Fence and Planting/Shrubs proposed to create Boundary from Highway

Proposed 1m High Shrubs and Planting

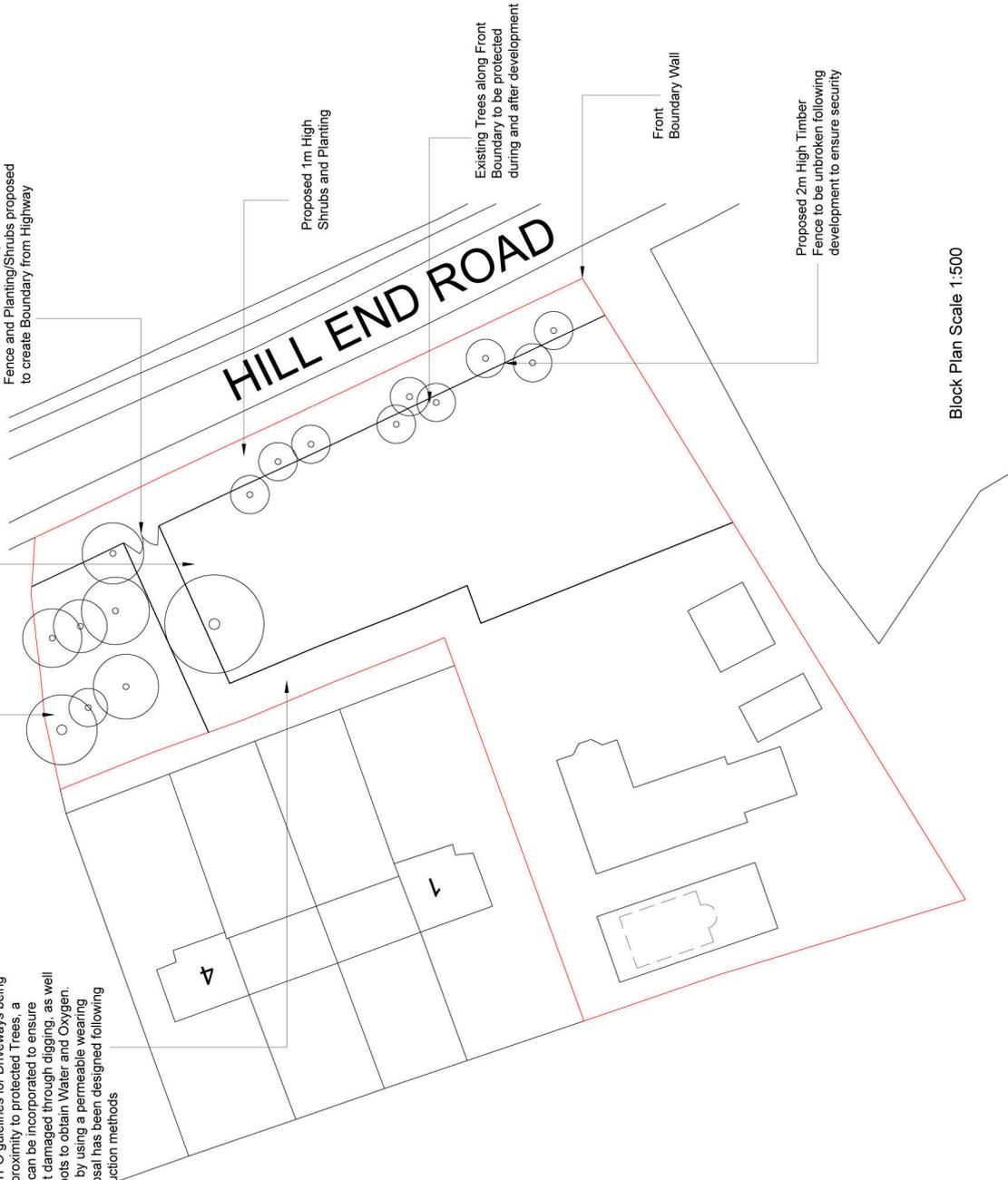
Existing Trees along Front Boundary to be protected during and after development

Front Boundary Wall

Proposed 2m High Timber Fence to be unbroken following development to ensure security

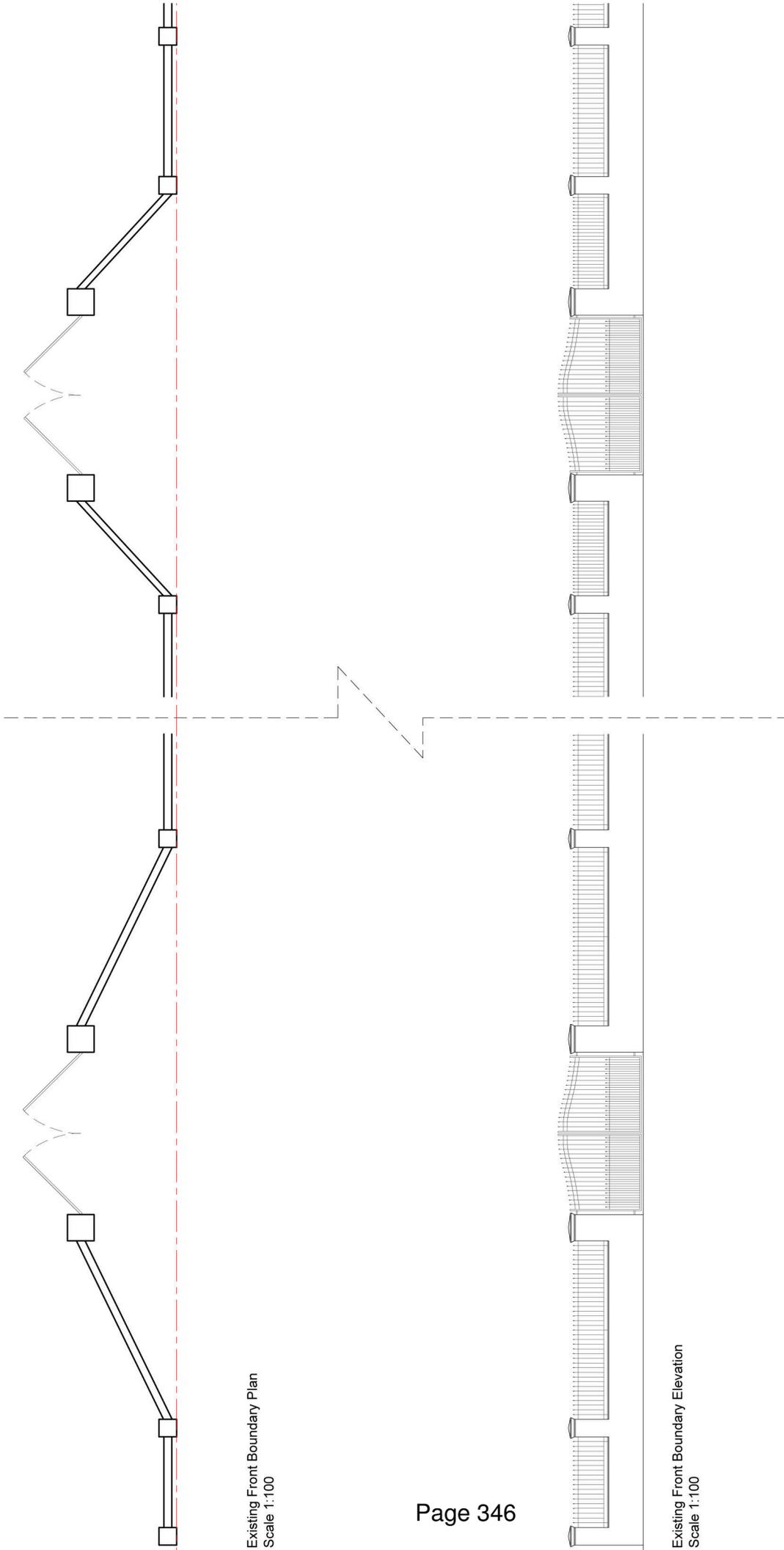


Location Plan Scale 1:1250



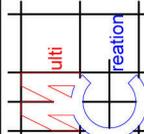
Block Plan Scale 1:500

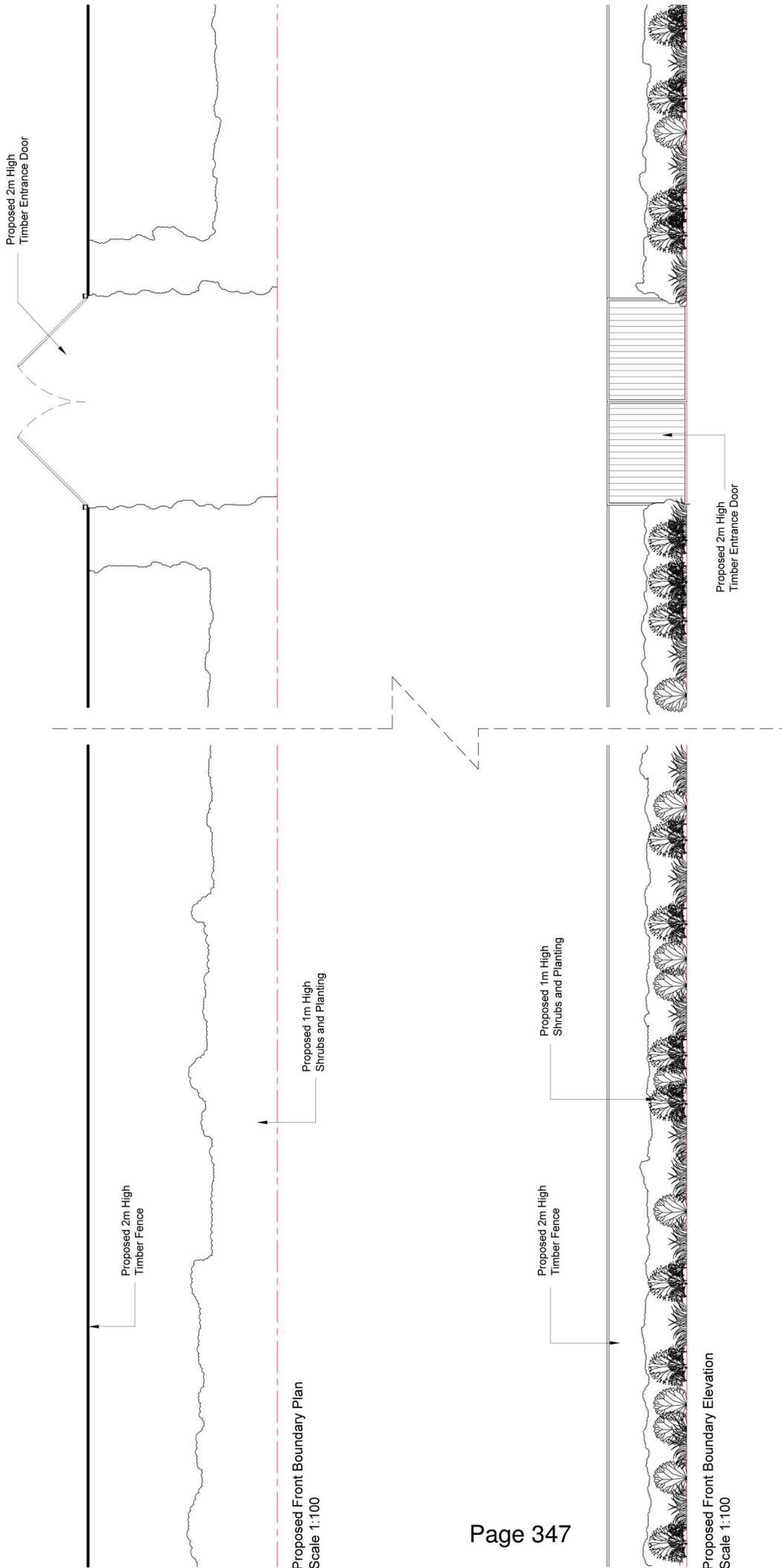
		<b>Project:</b> Kylemore House Hill End Road Harefield		<b>Title:</b> Location/Block Plan		<b>Scale:</b> 1:1250/500	
		<b>Date:</b> June 2010		<b>Drawing No.:</b> 1634B-03/KG		<b>Revision:</b>	
				<b>Revision</b> A B 06/10/07/10			
				239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



Existing Front Boundary Plan  
Scale 1:100

Existing Front Boundary Elevation  
Scale 1:100

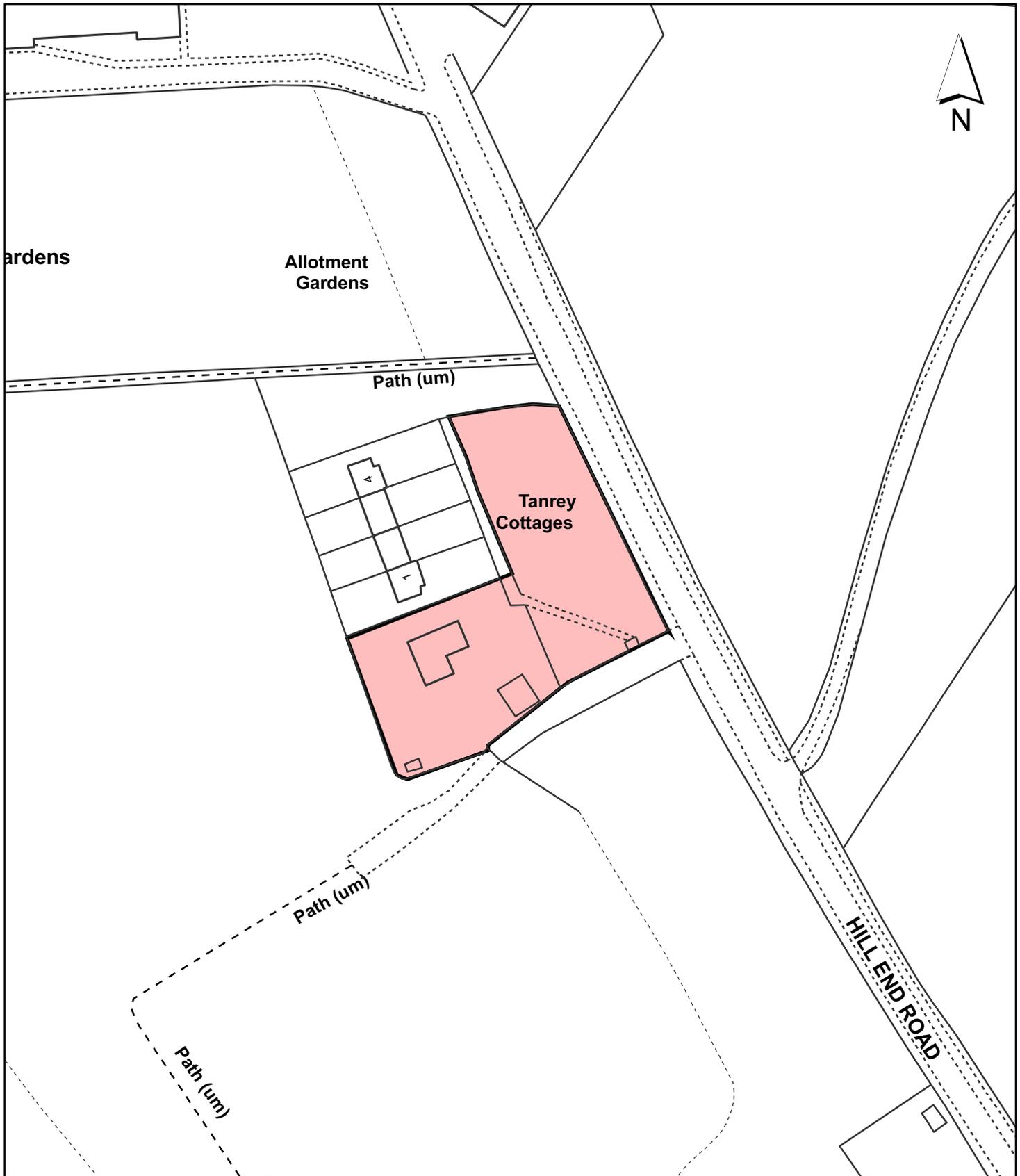
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	<b>Revision</b> <table border="1"> <tr> <td>A</td> <td></td> <td></td> <td></td> </tr> <tr> <td>06/10</td> <td></td> <td></td> <td></td> </tr> </table>			A				06/10		
A										
06/10										
239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008										



Proposed Front Boundary Plan  
Scale 1:100

Proposed Front Boundary Elevation  
Scale 1:100

	<b>Project:</b> Kylemore House Hill End Road Harefield	<b>Title:</b> Proposed Front Boundary	<b>Scale:</b> 1:100 <b>Date:</b> June 2010 <b>Drawing No.:</b> 1634B-02/KG
	<b>Revision</b> A 06/10	239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008	



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	<p>Planning Application Ref:</p> <p><b>46539/APP/2010/1396</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	 <p><b>HILLINGDON</b> LONDON</p>
	<p>Planning Committee</p> <p><b>North</b> Page 348</p>	<p>Date</p> <p><b>July 2010</b></p>	

**Report of the Head of Planning & Enforcement Services**

**Address** KYLEMORE HOUSE HILL END ROAD HAREFIELD

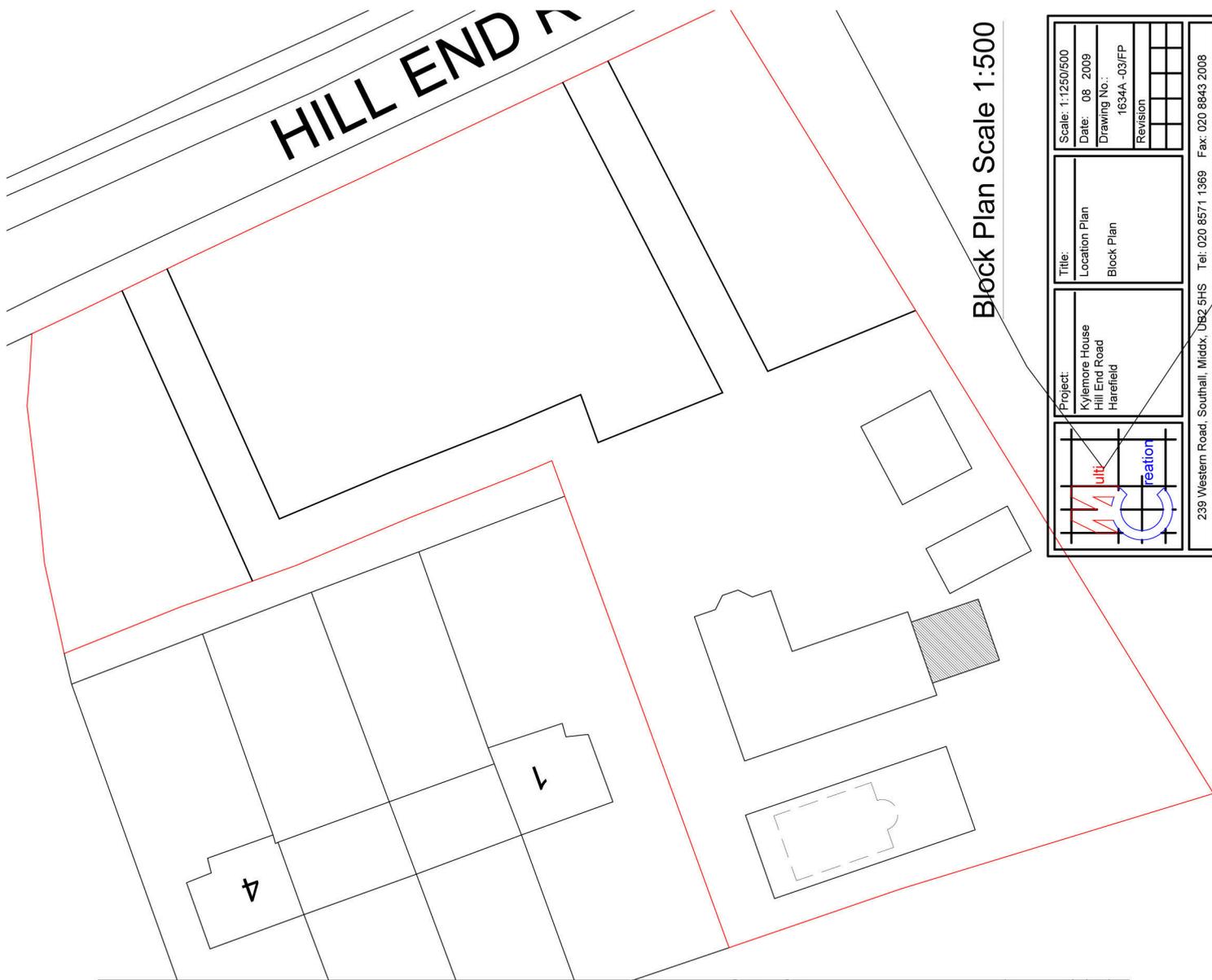
**Development:** Single storey side extension/conservatory (Retrospective Application).

**LBH Ref Nos:** 46539/APP/2010/1397

**Date Plans Received:** 15/06/2010

**Date(s) of Amendment(s):**

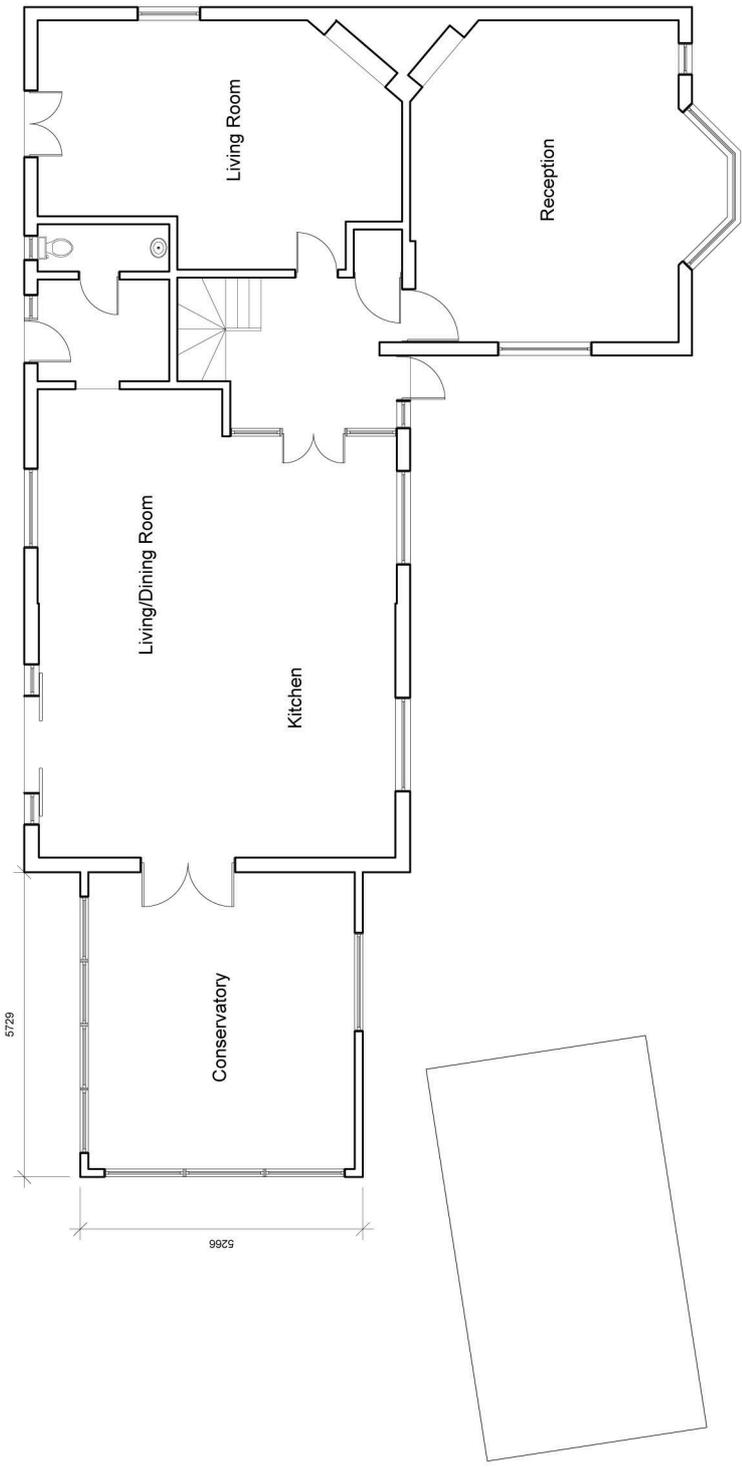
**Date Application Valid:** 15/06/2010



	<b>Project:</b> Kylemore House Hill End Road Harefield	<b>Title:</b> Location Plan Block Plan	<b>Scale:</b> 1:1250/500 <b>Date:</b> 08 2009 <b>Drawing No.:</b> 1634A-03/FP															
	<b>Revision</b> <table border="1"> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>																	

239 Western Road, Southall, Middx, UB8 5HS Tel: 020 8571 1389 Fax: 020 8643 2008





	<b>Project:</b> Kylesmore House Hill End Road Harefield	<b>Title:</b> Proposed Floor Plan to be Retained	<b>Scale:</b> 1:100
			<b>Date:</b> 06 2010 <b>Drawing No.:</b> 1634A-01/FP <b>Revision:</b>
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

**Proposed Ground Floor Plan to be Retained**  
**Scale 1:100**

Existing Conservatory  
to be Retained



Proposed Front Elevation  
Scale 1:100

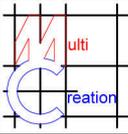


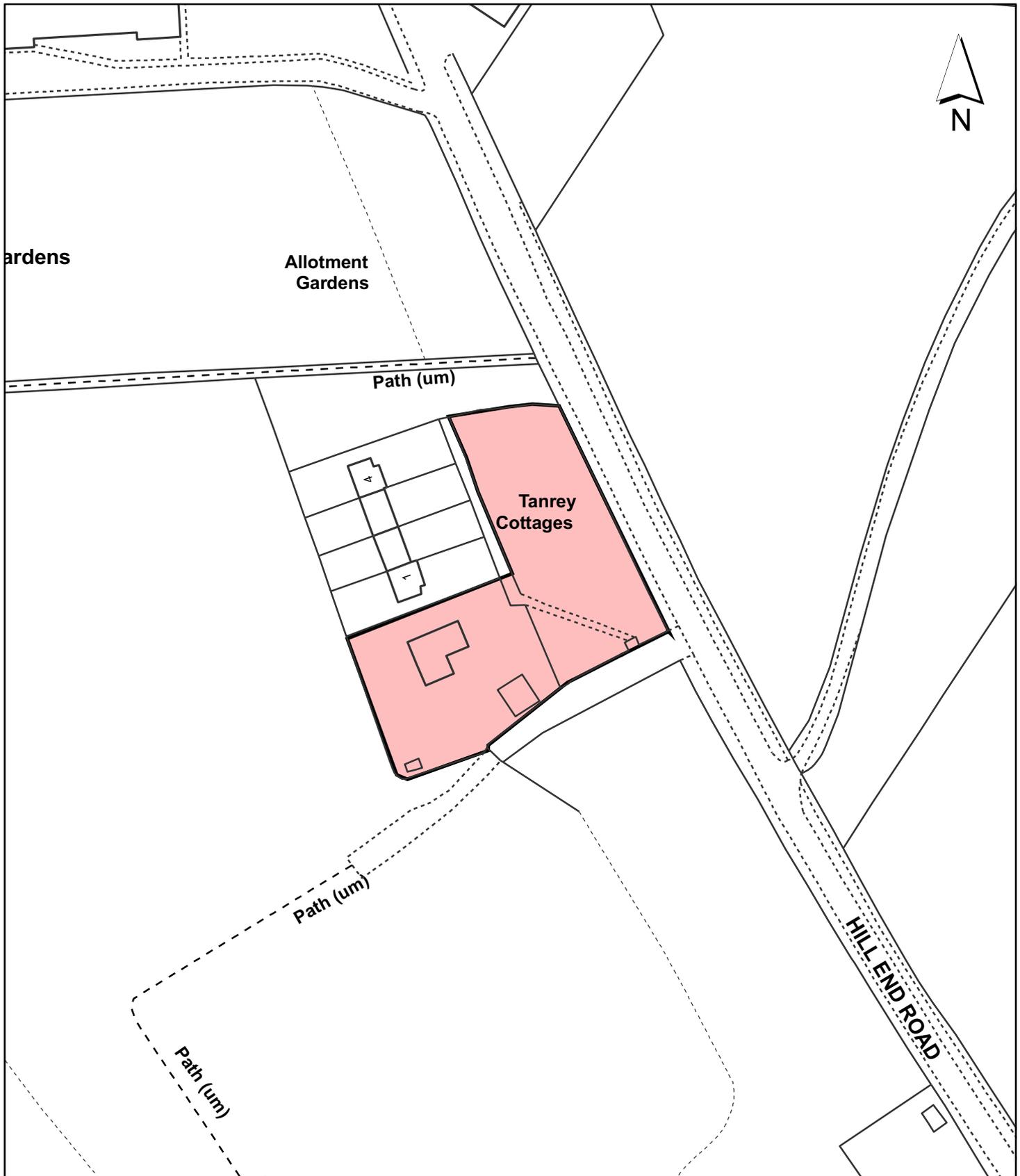
Proposed Rear Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100

Existing Conservatory  
to be Retained

	Project:	Title:	Scale: 1:100
	Kylemore House Hill End Road Harefield	Proposed Elevations to be Retained	Date: 06 2010
			Drawing No.: 1634A -02/FP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



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	<p>Planning Application Ref:</p> <p><b>46539/APP/2010/1397</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	 <p><b>HILLINGDON</b> LONDON</p>
	<p>Planning Committee</p> <p><b>North</b> Page 353</p>	<p>Date</p> <p><b>July 2010</b></p>	

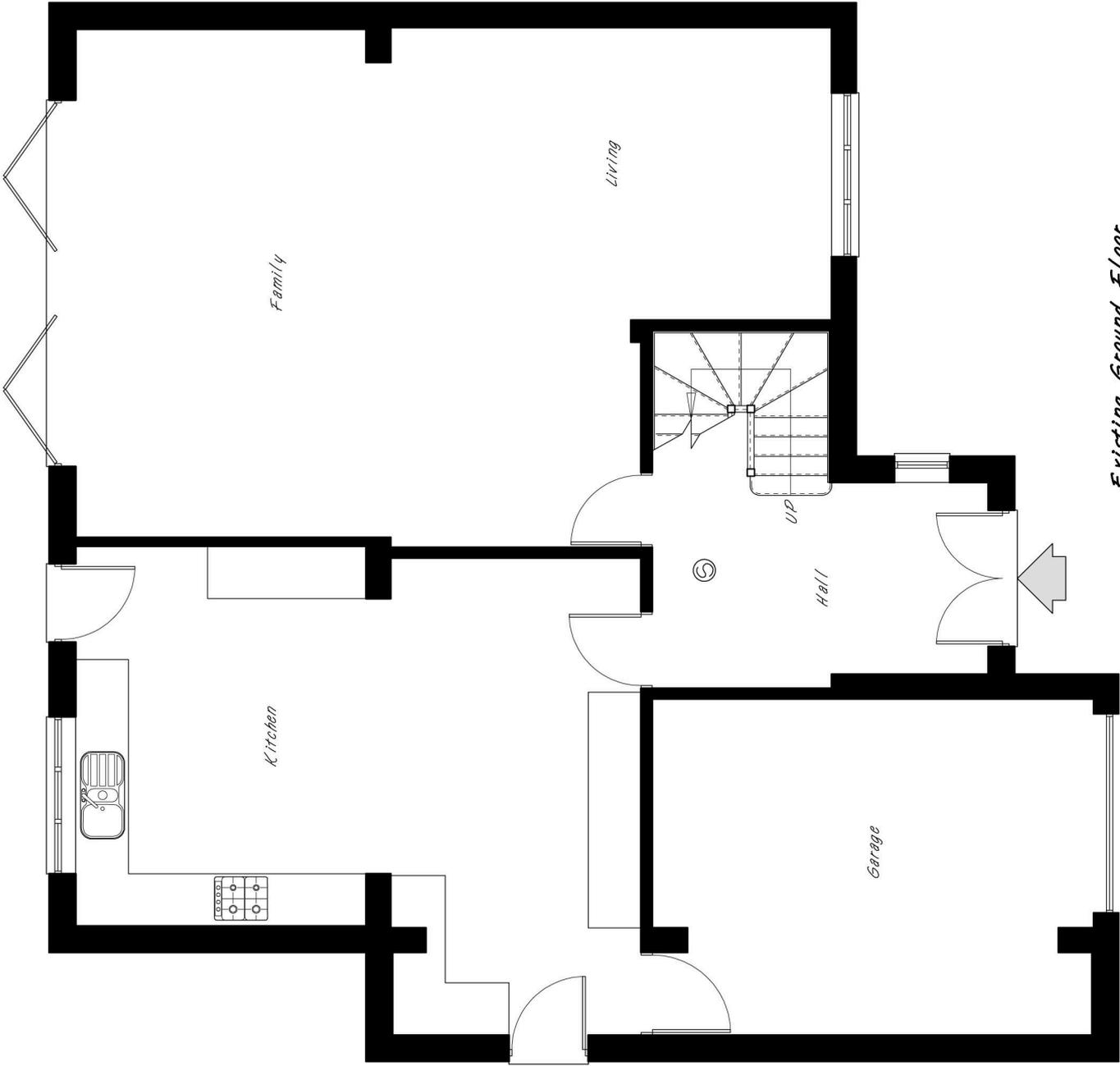
**Report of the Head of Planning & Enforcement Services**

**Address** 3 LONG LANE ICKENHAM

**Development:** Conversion of integral garage to habitable space with new window and wall to front, rebuilding of ground floor front wall to two storey side extension and retention of enlarged dormer window to front elevation.

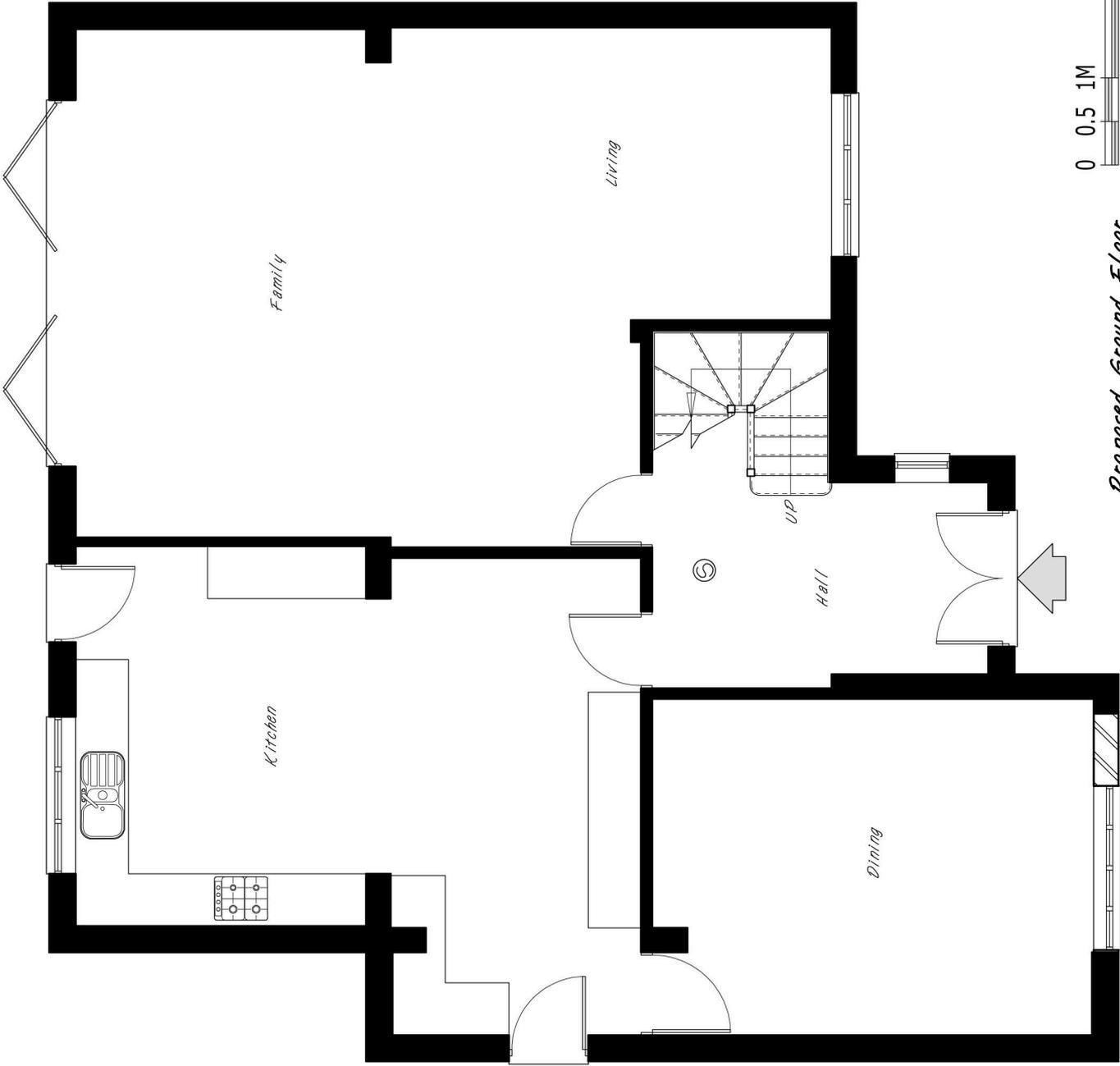
**LBH Ref Nos:** 64180/APP/2010/330

<b>Date Plans Received:</b>	16/02/2010	<b>Date(s) of Amendment(s):</b>	16/02/2010
<b>Date Application Valid:</b>	22/05/2010		23/02/2010
			01/03/2010
			05/07/2010



*Existing Ground Floor*

 <p><b>BUILDING SERVICES</b> Architectural Designers &amp; Surveyors Uxbridge (01895) 811177</p>	DRAWN: DAF DRAWING NO: 08/27/11	SCALE: 1:50 @ A3 DATE: February '10
	SITE: 3 Long Lane, Ickenham, Middx. UB10 8QX	
<b>Proposed Garage Conversion.</b>		
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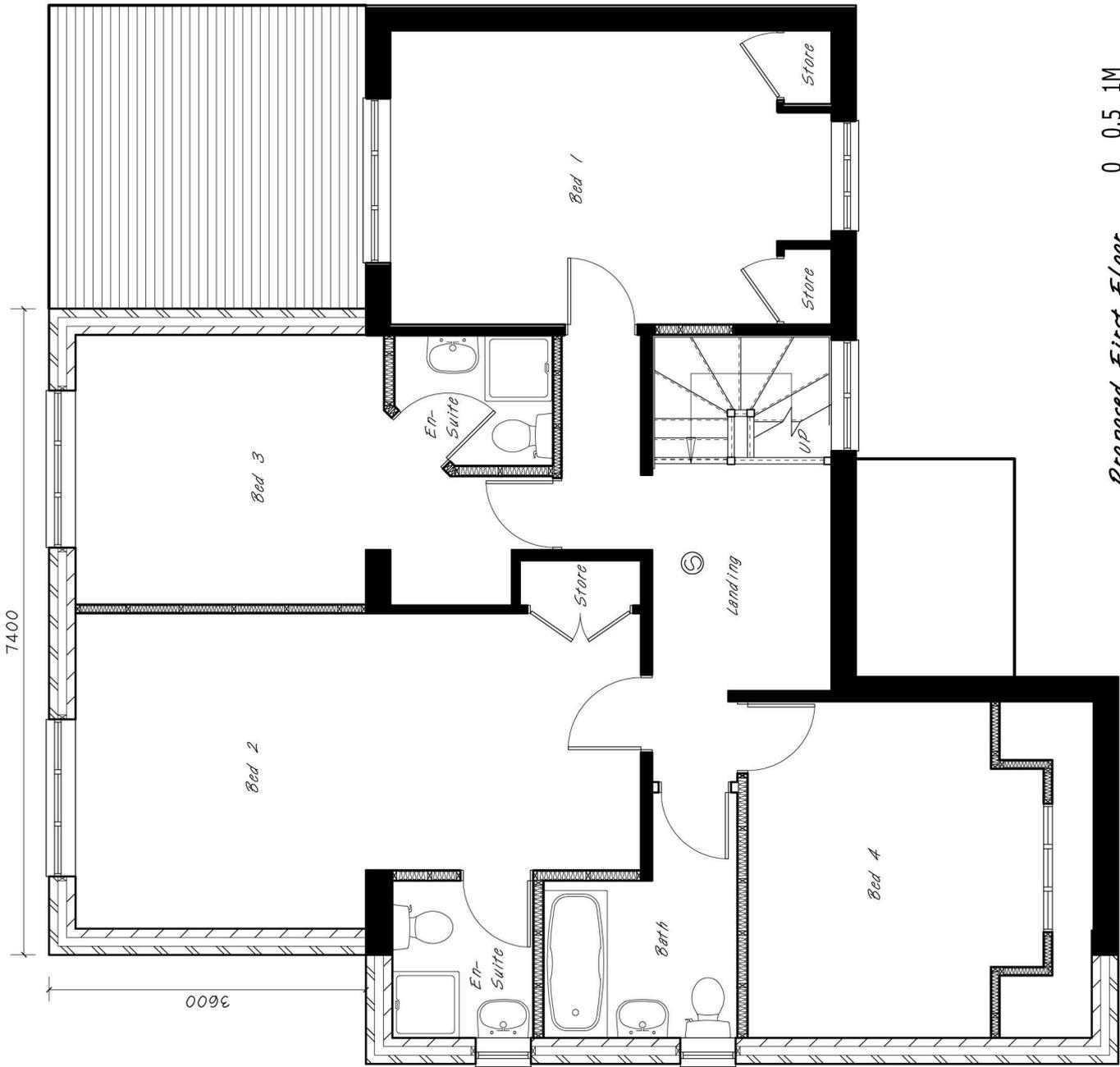
*Proposed Ground Floor*

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**Proposed Garage Conversion.**

SITE: 3 Long Lane,  
Ickenham,  
Middx. UB10 8QX

 <b>BUILDING SERVICES</b> Architectural Designers & Surveyors Uxbridge (01895) 811177	DRAWN:	SCALE:	DATE:
	DAF	1:50 @ A3	February '10
DRAWING NO:		REV:	
08277/12			



*Proposed First Floor*

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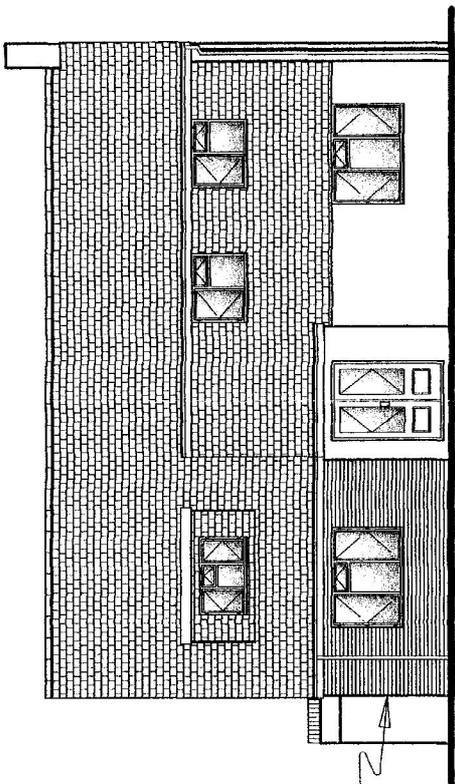
**Proposed Double Storey Front & Rear Extension.**

SITE: 3 Long Lane, Ickenham, Middx. UB10 8QX

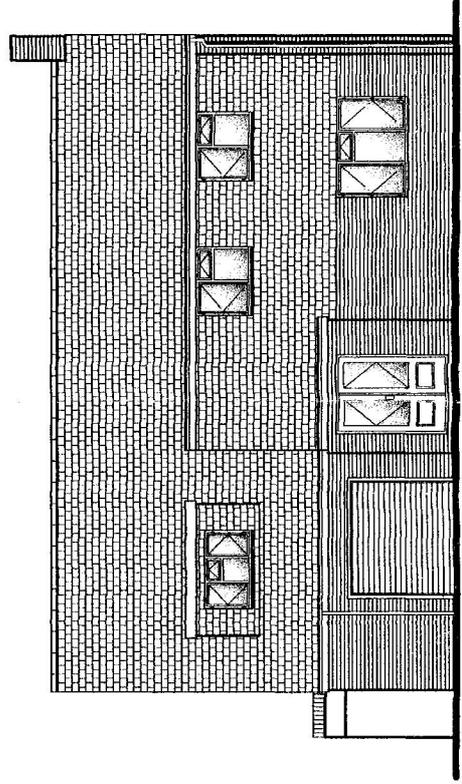


**BUILDING SERVICES**  
Architectural Designers & Surveyors  
Uxbridge (01895) 811177

DRAWN: DAF	SCALE: 1:50 @ A3	DATE: July '10
DRAWING NO: 08/27/05		REV: B



*Proposed Front Elevation*



*Existing Front Elevation*

LON BORO OF HILLINGDON  
RECEIVED  
22 MAY 2010  
PLANNING & TRANSPORTATION  
GROUP  
**AMENDED  
PLAN**



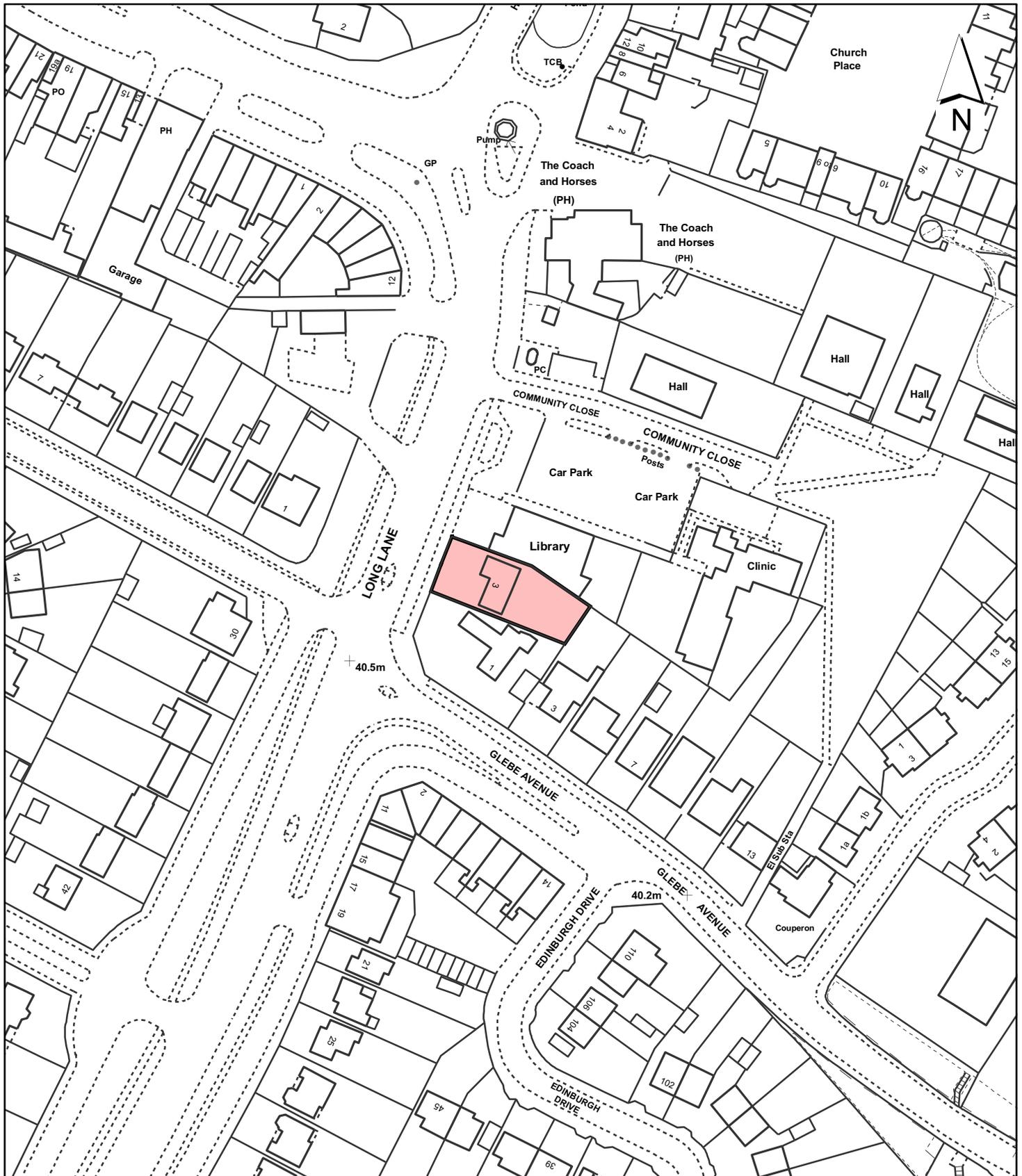
**Ag** BUILDING SERVICES  
Architectural Designers  
& Surveyors  
Unbridge (01895) 811177

DRAWN: DAF	SCALE: 1:100 @ A3	DATE: May 10
DRAWING NO: 08/27/13		REV: A

SITE: 3 Long Lane,  
Ickenham,  
Middx. UB10 8QX

**Proposed Garage Conversion.**

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**Notes**

 Site boundary

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Site Address	
<b>3 Long Lane Ickenham</b>	
Planning Application Ref:	Scale
<b>64180/APP/2010/330</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 359	<b>July 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** 84 & 84A LONG LANE ICKENHAM

**Development:** Erection of a new two storey building with front, side and rear dormer windows comprising of 9 two- bedroom units and 1 one-bedroom unit (involving demolition of two existing buildings.)

**LBH Ref Nos:** 3231/APP/2009/555

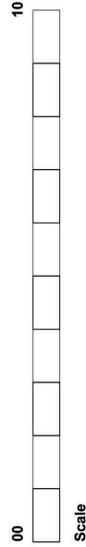
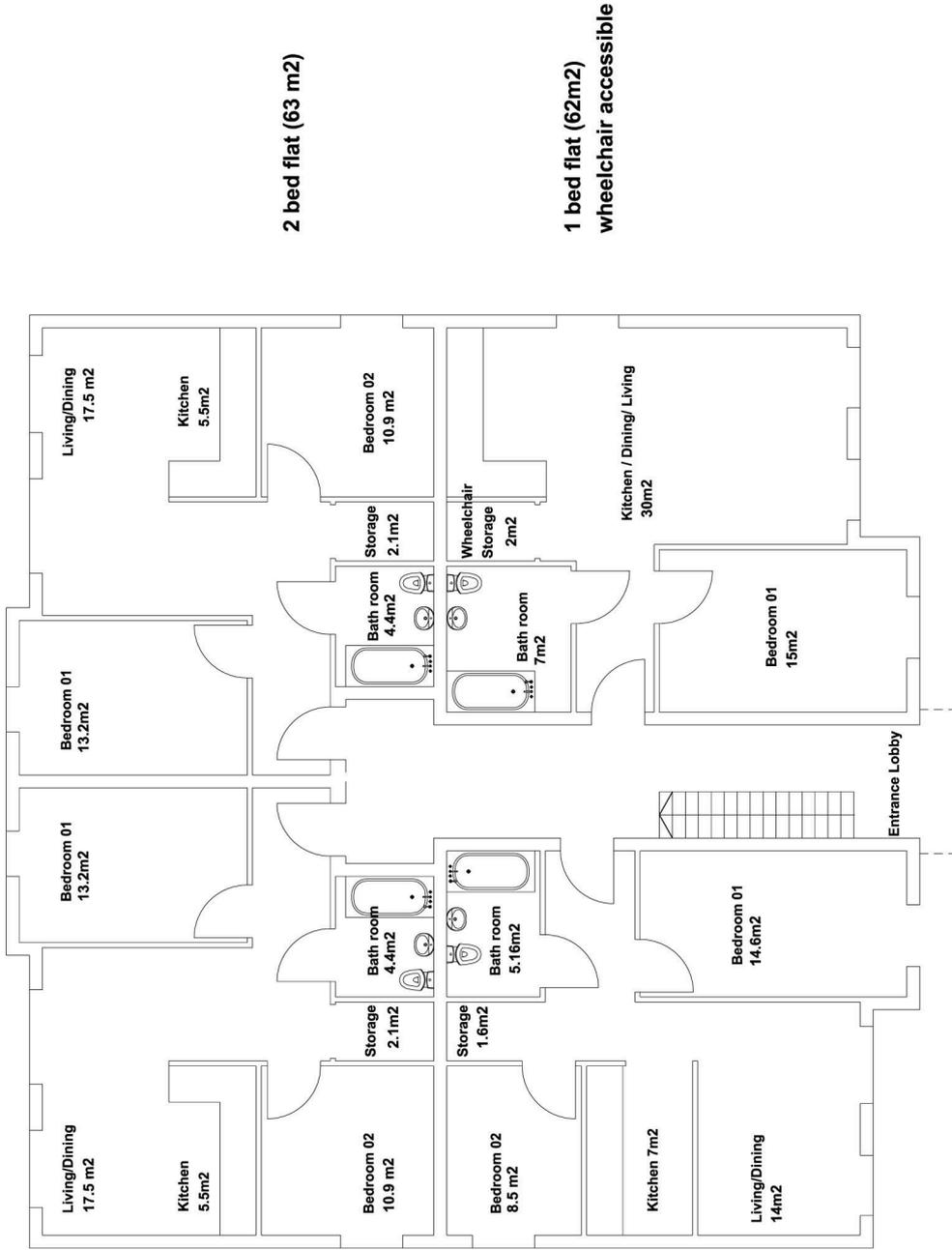
**Date Plans Received:** 18/03/2009

**Date(s) of Amendment(s):** 18/03/2009

**Date Application Valid:** 18/03/2009

17/06/2009





G R O U N D F L O O R P L A N

ADDRESS: 1 BASTWICK STREET  
CLERKENWELL  
LONDON EC1V 3NU  
TEL : +44 (0) 20 7460 4294  
FAX : +44 (0) 8707 120 187  
WEB : www.kingconroy.com  
EMAIL : info@kingconroy.com

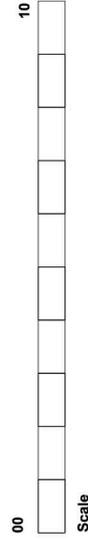
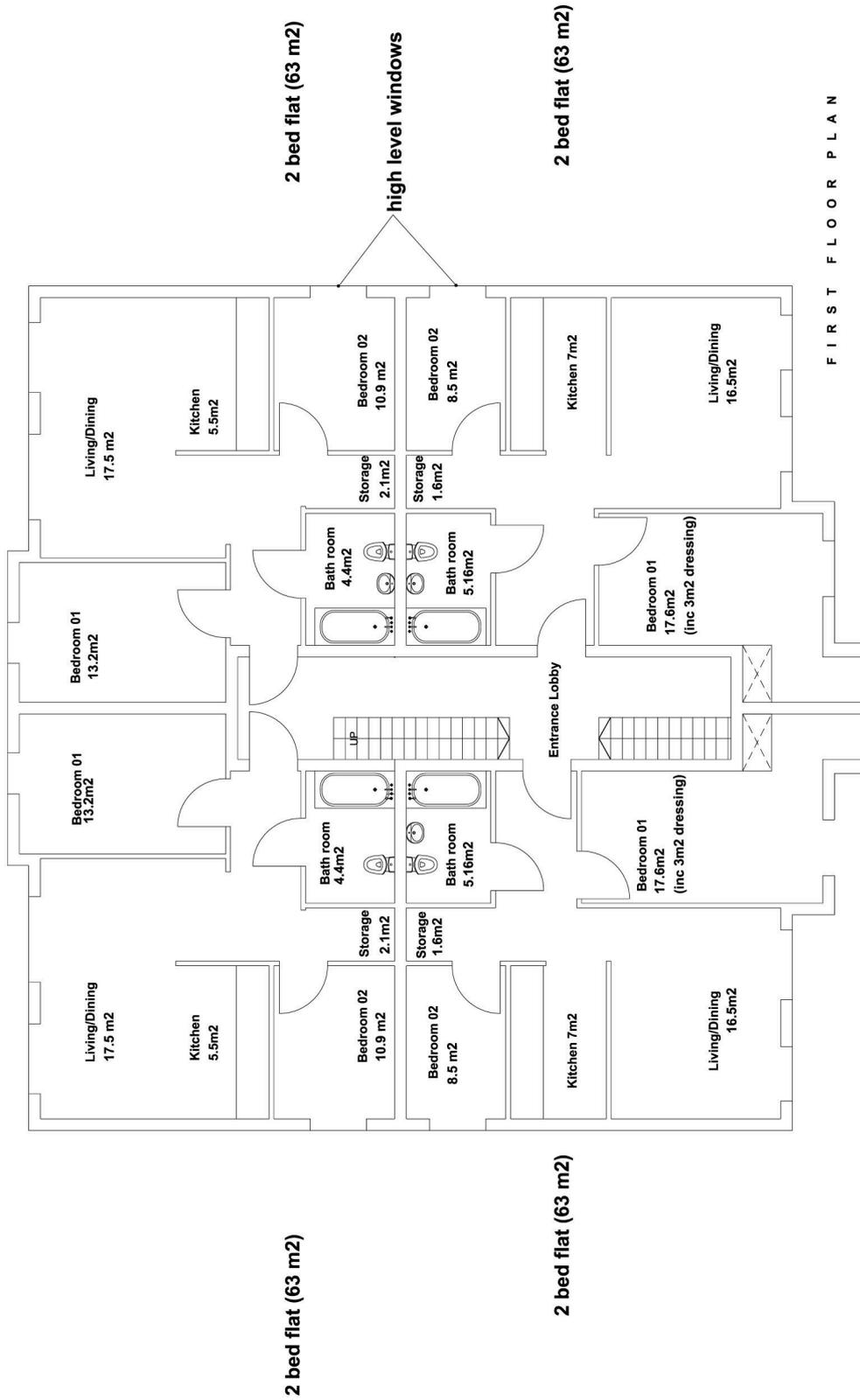
revisions / notes	
B	issued for information 07.11.08
C	2nd planning submission 18.03.09

client :	Regent Ltd
PROJECT REF :	07 028
PROJECT TITLE :	WOODLANDS
ADDRESS :	84/84a Long Lane, Hillingdon, UB10
DRAWING TITLE :	GROUND FLOOR PLAN
SCALE :	1:100
DATE :	25.01.08
ISSUE :	PLANNING
REVISION :	C

kingconroy

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

PPSK 010



PROJECT REF : 07 028  
 PROJECT TITLE : WOODLANDS  
 ADDRESS : 84/84a Long Lane, Hillingdon, UB10  
 DRAWING TITLE : FIRST FLOOR PLAN  
 SCALE : 1:100  
 DATE : 25.01.08  
 ISSUE : PLANNING  
 REVISION : C

client :  
 Regent Ltd

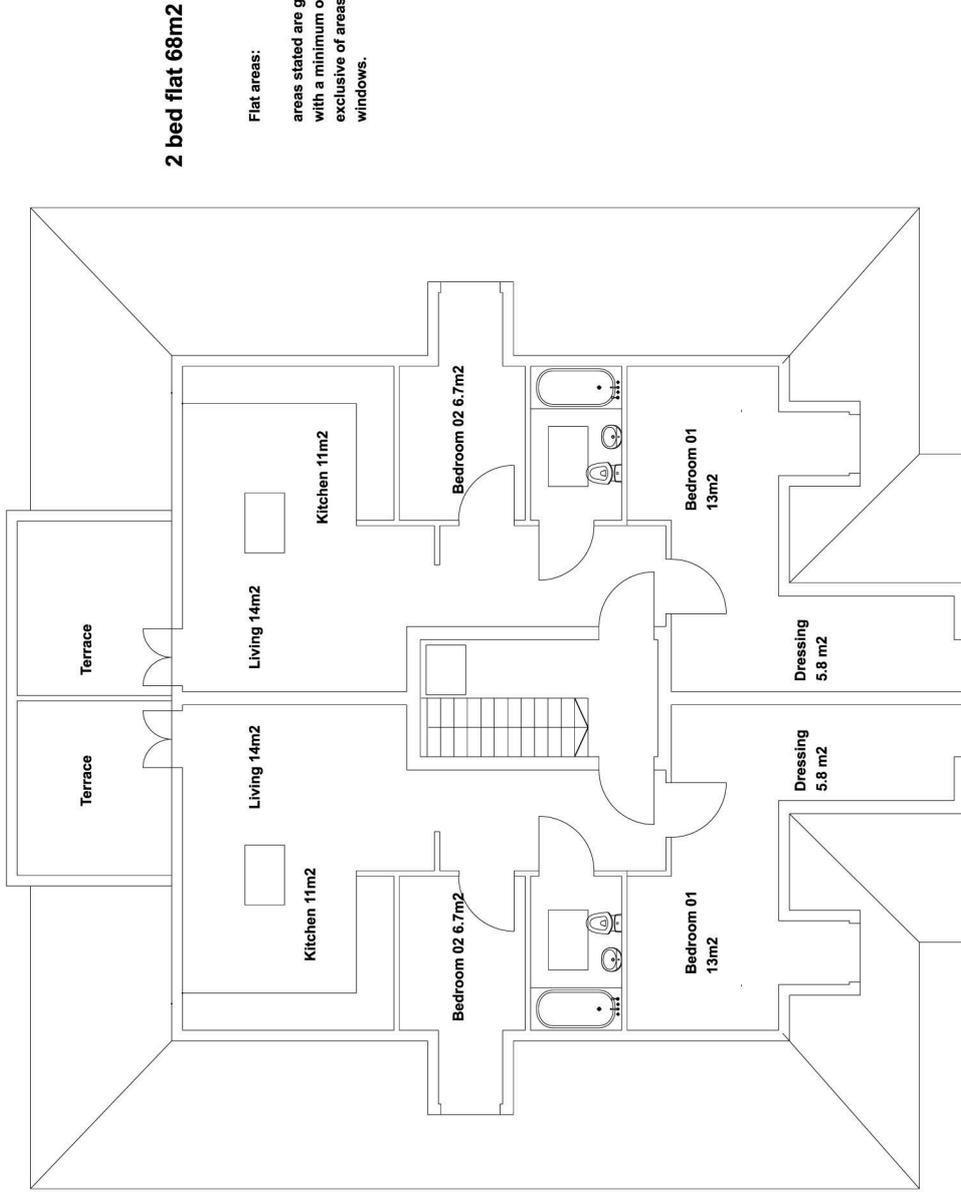
revisions / notes
B issued for information 07.11.08
C 2nd planning submission 18.03.09

ADDRESS: 1 BASTWICK STREET  
 CLERKENWELL  
 LONDON EC1V 3NU  
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 FAX : +44 (0) 8707 120 187  
 WEB : www.kingconroy.com  
 EMAIL : info@kingconroy.com

**kingconroy**

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

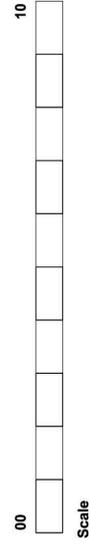
**PPSK 011**



**2 bed flat 68m<sup>2</sup>**

**2 bed flat 68m<sup>2</sup>**

Flat areas:  
 areas stated are given to area of flats with a minimum of 1.8m headroom, and exclusive of areas achieved by dormer windows.



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 CLERKENWELL  
 LONDON EC1V 3NU  
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 FAX : +44 (0) 8707 120 187  
 WEB : www.kingconroy.com  
 EMAIL : info@kingconroy.com

revisions / notes  
 B issued for information 07.11.08  
 C 2nd planning submission 18.03.09

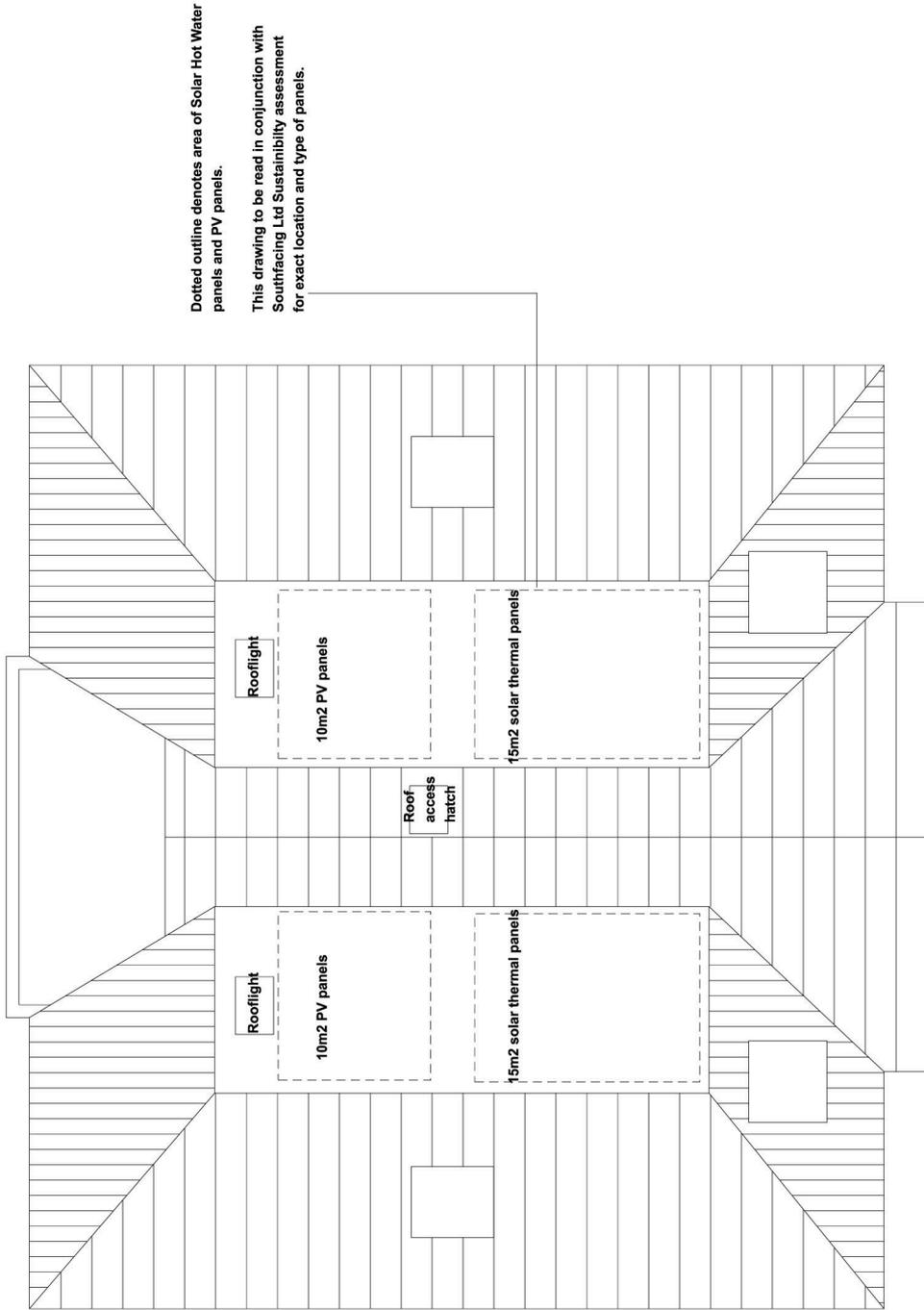
client :  
 Regent Ltd

PROJECT REF : 07 028  
 PROJECT TITLE : WOODLANDS  
 ADDRESS : 84/84a Long Lane, Hillingdon, UB10  
 DRAWING TITLE : SECOND FLOOR PLAN  
 SCALE : 1:100  
 DATE : 25.01.08  
 ISSUE : PLANNING  
 REVISION : C

**kingconroy**

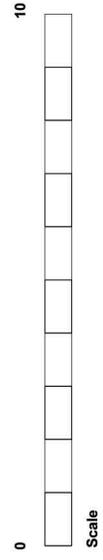
ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

**PPSK 012**



Dotted outline denotes area of Solar Hot Water panels and PV panels.

This drawing to be read in conjunction with Southfacing Ltd Sustainability assessment for exact location and type of panels.



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TEL : +44 (0) 20 7460 4294  
FAX : +44 (0) 8707 120 187  
WEB : www.kingconroy.com  
EMAIL : info@kingconroy.com

revisions / notes  
B issued for information 07.11.08  
C 2nd planning submission 18.03.09

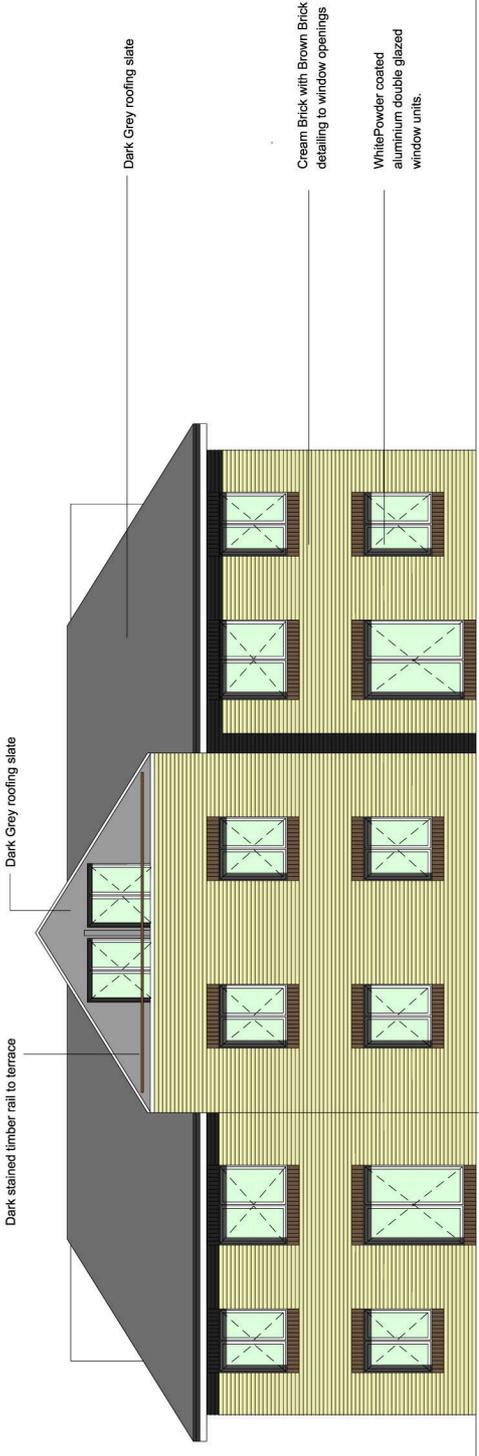
client :  
Regent Ltd

PROJECT REF : 07 028  
PROJECT TITLE : WOODLANDS  
ADDRESS : 84/84a Long Lane, Hillingdon, UB10  
DRAWING TITLE : ROOF PLAN  
SCALE : 1:100  
DATE : 25.01.08  
ISSUE : PLANNING  
REVISION: C

**kingconroy**

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

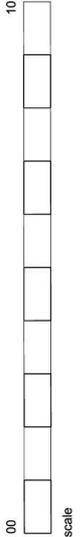
**PPSK 013**



**REAR ELEVATION**



**FRONT ELEVATION**



PROJECT REF : 07 028  
 PROJECT TITLE : WOODLANDS  
 ADDRESS : 84/84a Long Lane, Hillingdon, UB10.  
 DRAWING TITLE : Front and Rear Elevation  
 SCALE : 1:100  
 DATE : 11.01.08  
 ISSUE : PLANNING  
 REVISION: C

client :  
 Regent Ltd

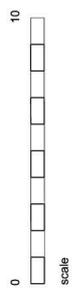
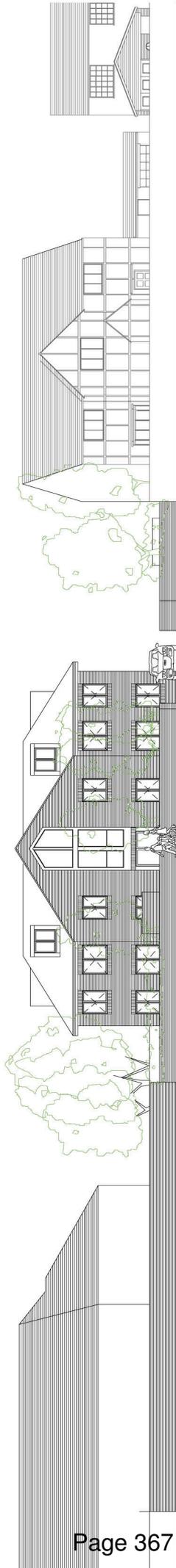
revisions / notes  
 C 2nd planning submission 18.03.09

ADDRESS: 1 BASTWICK STREET  
 CLERKENWELL  
 LONDON EC1V 3NU  
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 FAX : +44 (0) 8707 120 187  
 WEB : www.kingconroy.com  
 EMAIL : info@kingconroy.com

**kingconroy**

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

**PPSK 100**



Hillingdon Further Education Centre

84/84a Long Lane (the site)

82 Long Lane

kingconroy

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

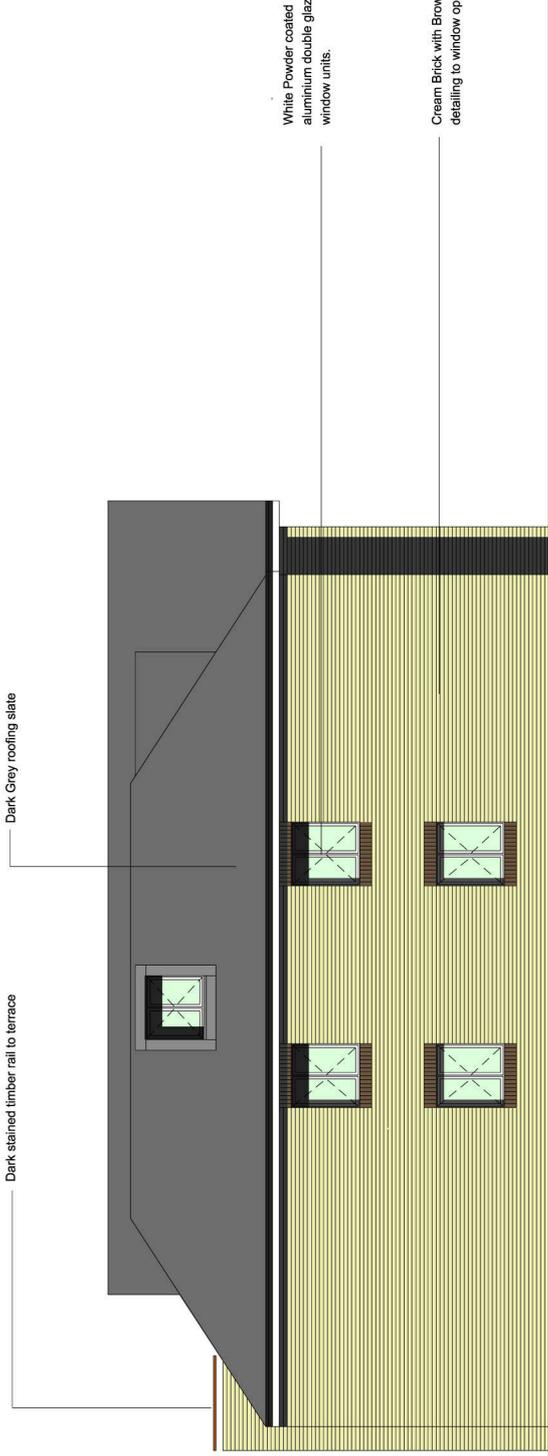
ADDRESS: 1 BASTWICK STREET  
CLERKENWELL  
LONDON EC1V 3NU  
TEL : +44 (0) 20 7460 4294  
FAX : +44 (0) 8707 120 187  
WEB : www.kingconroy.com  
EMAIL : info@kingconroy.com

revisions / notes  
B issued for information 07.11.08  
C 2nd planning submission 18.03.09

client :  
Regent Ltd

PROJECT REF : 07 028  
PROJECT TITLE : WOODLANDS  
ADDRESS : 84/84a Long Lane, Hillingdon, UB10  
DRAWING TITLE : Street Elevation  
SCALE : 1:200  
DATE : 11.01.08  
ISSUE : PLANNING  
REVISION: C

PPSK 006

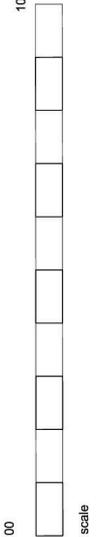


Dark stained timber rail to terrace

Dark Grey roofing slate

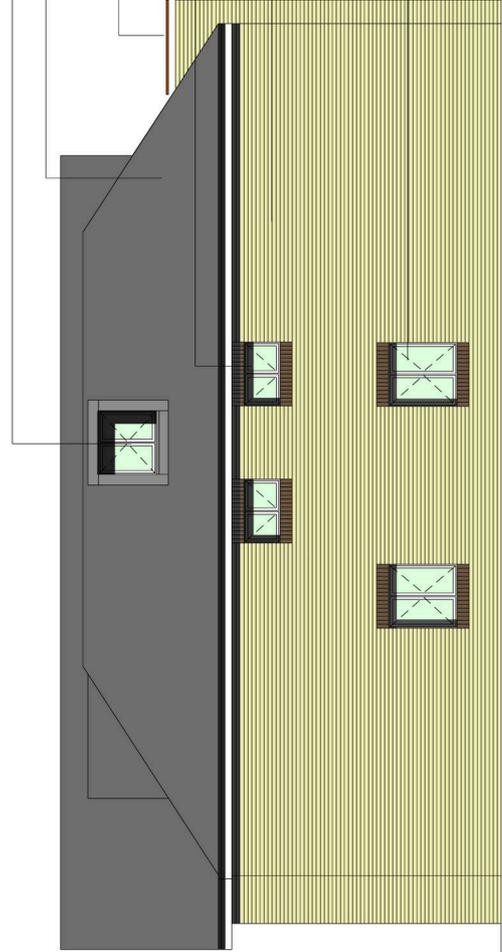
White Powder coated  
aluminum double glazed  
window units.

Cream Brick with Brown Brick  
detailing to window openings



REAR ELEVATION

Lead Clad dormers  
Dark Grey roofing slate  
Dark stained timber rail to terrace  
High level windows to bedrooms  
Cream Brick with Brown Brick  
detailing to window openings  
White Powder coated  
aluminum double glazed  
glazing units to bay window detail.



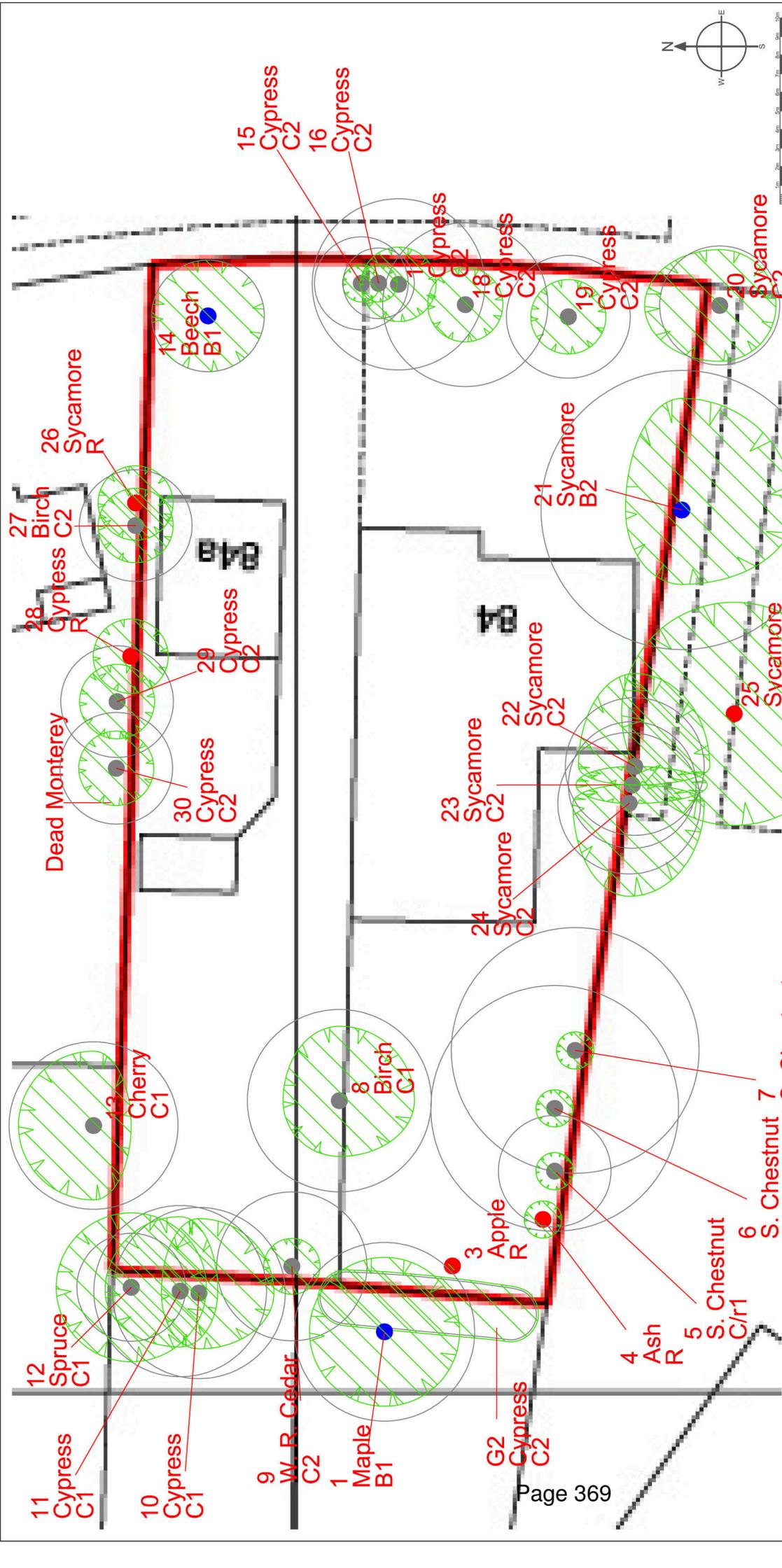
FRONT ELEVATION

ADDRESS: 1 BASTWICK STREET  
CLERKENWELL  
LONDON EC1V 3NU  
TEL : +44 (0) 20 7460 4294  
FAX : +44 (0) 8707 120 187  
WEB : www.kingconroy.com  
EMAIL : info@kingconroy.com

revisions / notes  
C 2nd planning submission 18.03.09

client :  
Regent Ltd

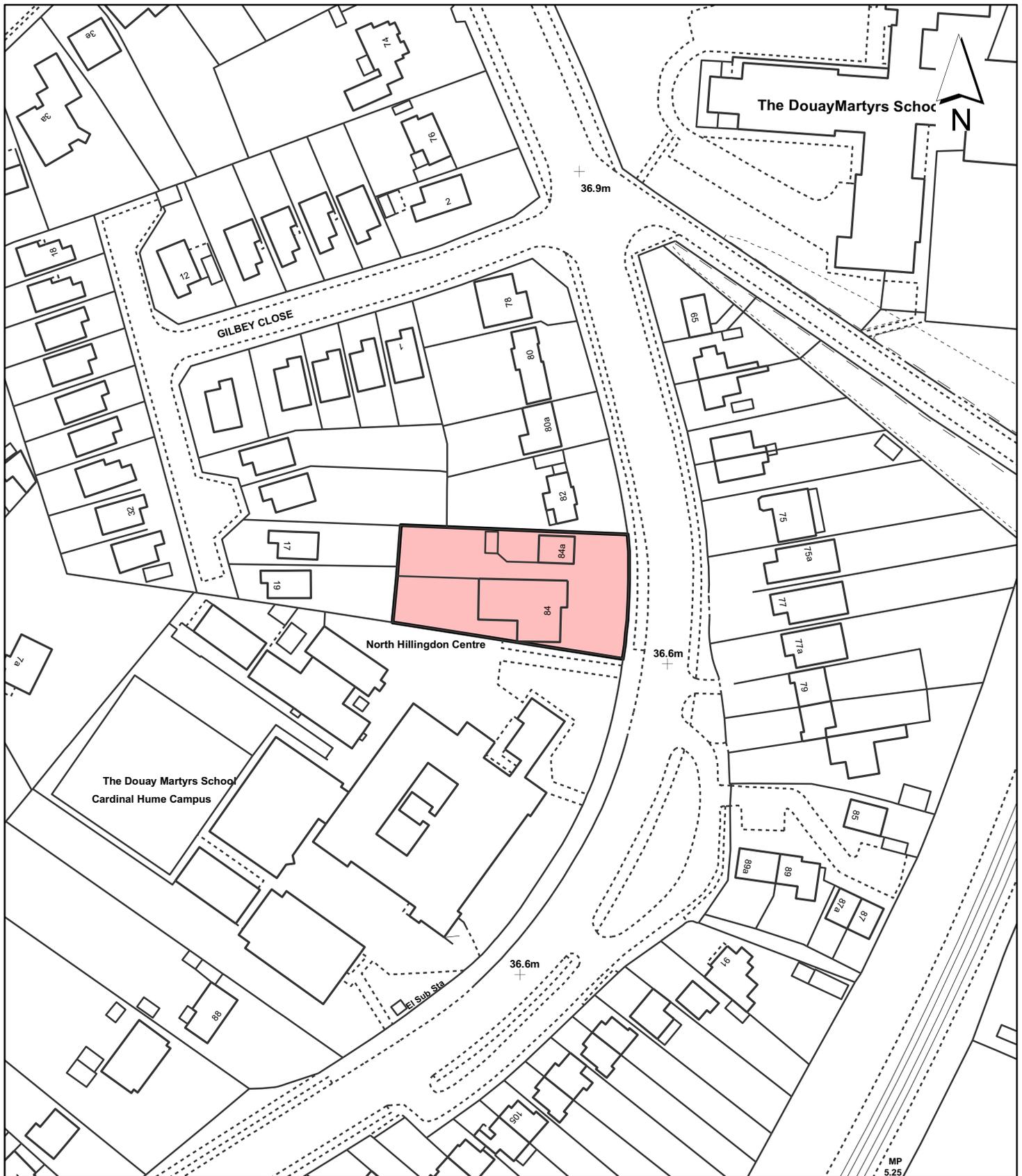
PROJECT REF : 07 028  
PROJECT TITLE : WOODLANDS  
ADDRESS : 84/84a Long Lane, Hillingdon, UB10.  
DRAWING TITLE : Side Elevation  
SCALE : 1:100  
DATE : 11.01.08  
ISSUE : PLANNING  
REVISION: C



**Landmark Trees**  
 Little Beeches, All Cannings, Devizes, Wilt, SN10 3NX  
 Tel: (01380) 862905 Mobile: 07812 989928  
 e-mail: info@landmarktrees.co.uk Web: www.landmarktrees.co.uk

Site: Woodlands, Long Lane  
 Drawing Title: Tree Constraints Plan  
 1-200@A3  
 July 2008

**NOTE:**  
 This survey is of a preliminary nature. The trees were inspected from the ground level. The position of the trees was determined by visual inspection. No decay detection equipment was employed. The survey does not cover the arrangements that may be required in connection with the laying or removal of underground services.  
 Branch spread in metres is taken at the four cardinal points to derive an accurate representation of the crown.  
 Root Protection Areas (RPA) are derived from stem diameter measured at 1.5 m above adjacent ground level (taken on sloping ground on the upslope side of the tree base) or immediately above the root flare for multi-stemmed trees.



**Notes**

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Site Address	
<b>84 &amp; 84A Long Lane Ickenham</b>	
Planning Application Ref:	Scale
<b>3231/APP/2009/555</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 370	<b>July 2009</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



HILLINGDON

LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** 111 WEST END ROAD RUISLIP MIDDX

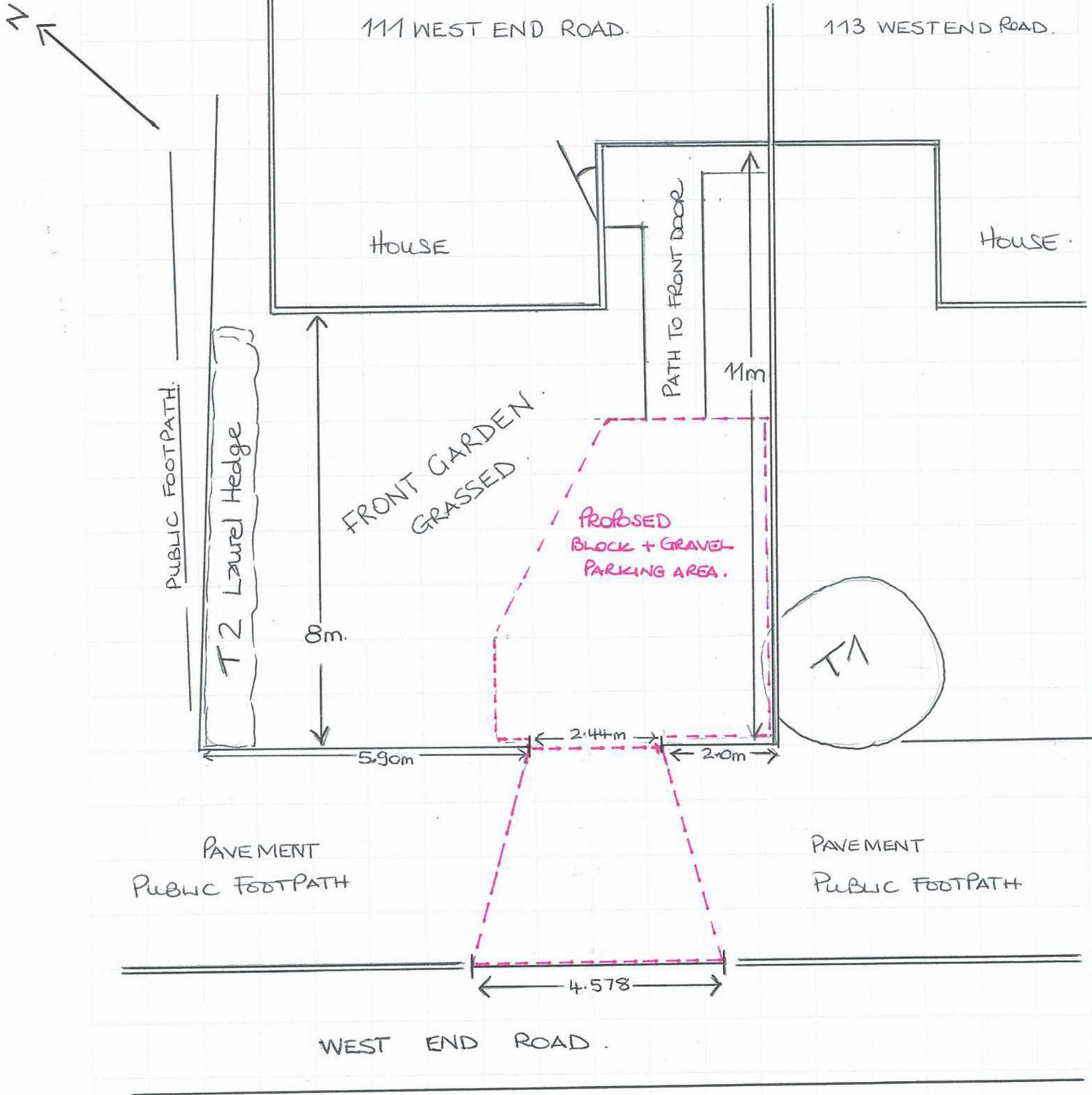
**Development:** Installation of vehicular crossover to front.

**LBH Ref Nos:** 63665/APP/2010/1034

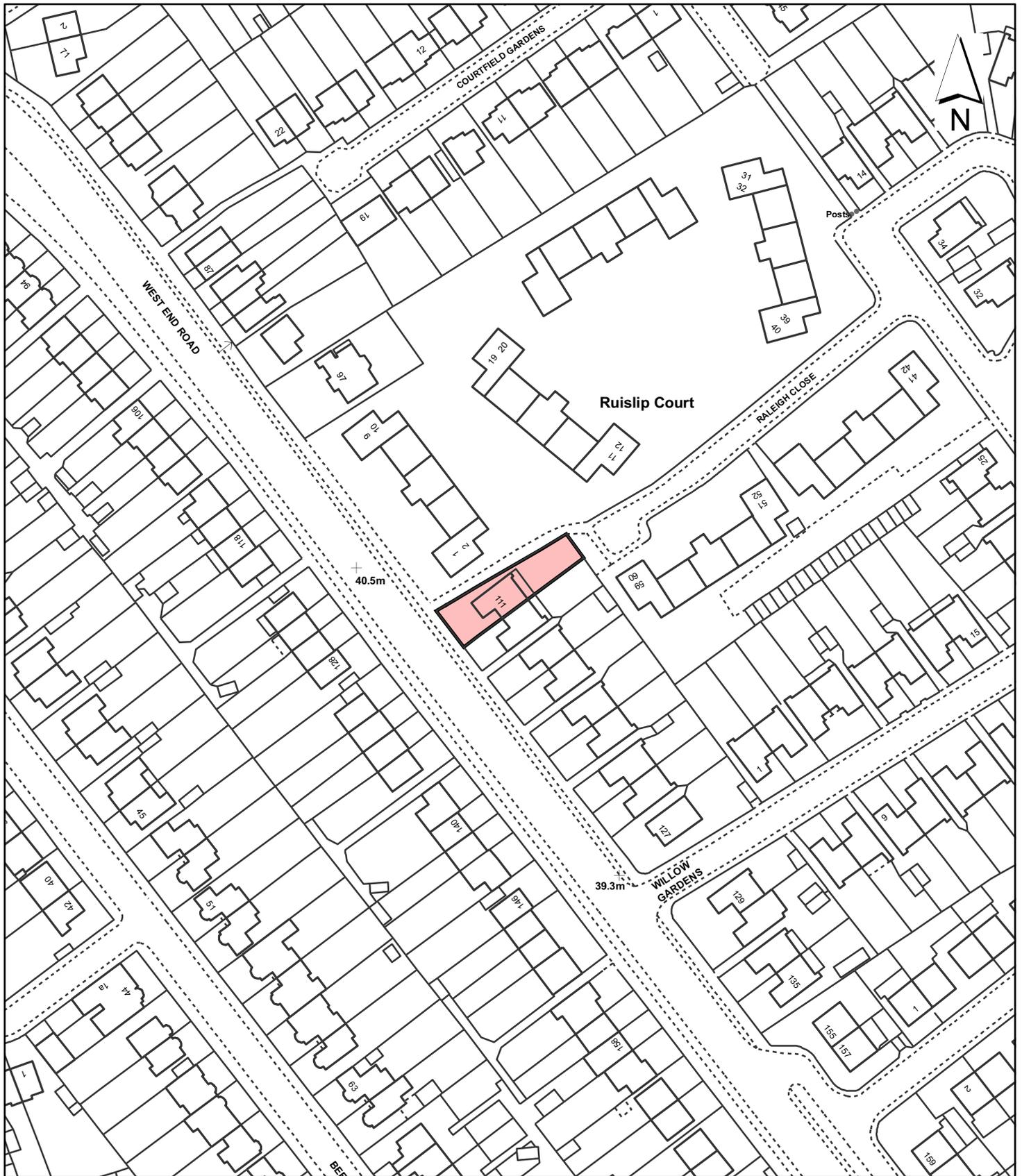
**Date Plans Received:** 06/05/2010

**Date(s) of Amendment(s):** 23/06/2010

**Date Application Valid:** 20/05/2010



SCALE: 1:100



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Site Address

**111 West End Road  
Ickenham**

**LONDON BOROUGH  
OF HILLINGDON  
Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**63665/APP/2010/1034**

Scale

**1:1,250**

Planning Committee

**North** Page 373

Date

**July 2010**



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** LAND FORMING PART OF 327 VICTORIA ROAD RUISLIP  
**Development:** Erection of a two storey attached dwellinghouse with double garage to rear  
**LBH Ref Nos:** 54831/APP/2010/171  
**Date Plans Received:** 29/01/2010 **Date(s) of Amendment(s):**  
**Date Application Valid:** 17/06/2010

NOTES:  
All dimensions must be checked on site and not scaled from this drawing.

IS	NOV 10	REVISED TO SHOW PLANNING
A	START STG	REVISED TO SHOW PLANNING
	DATE	REVISIONS
© Copyright		

G.E. POTTLE  
Building Design &  
Management Services,  
40 GLENALLA ROAD,  
RUISLIP  
DUBLIN 15, IRELAND  
Tel: 01895 622800  
Fax: 01895 622900

Client  
**MR J GLADWIN**

Job Title  
**NEW DWELLING AT  
327 VICTORIA ROAD  
SOUTH RUISLIP  
MIDDX  
AMENDED  
PLAN**

Drawing Title  
**PROPOSED NEW  
DWELLING.**

Stamp:  
LON BRIDGE CONSULTING  
RECEIVED  
31 MAY 2010  
PLANNING GROUP

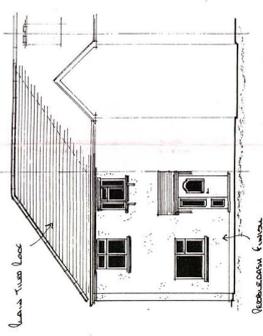
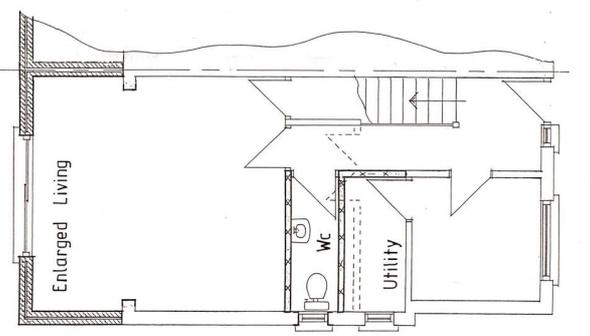
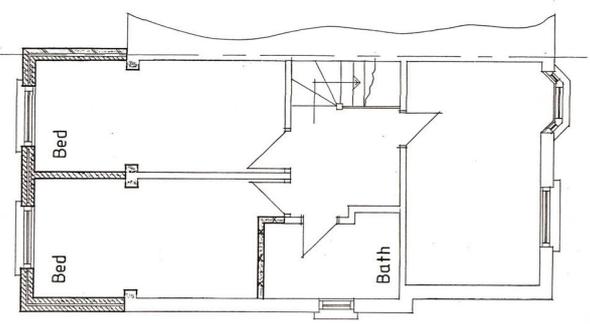
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Date SEPT 04  
Drawn by: MDP

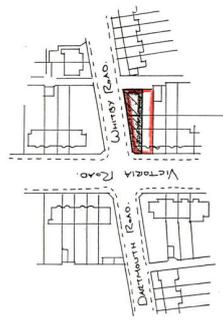
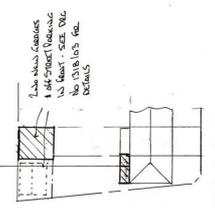
Draw No. 1318 / 02  
Rev. A/3

Scale 1:50, 100

2000



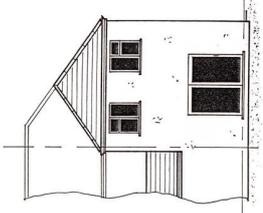
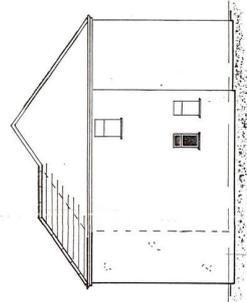
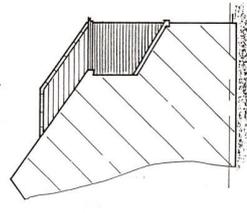
Proposed extension shown hatched



**SITE PLAN scale 1:500**

**LOCATION PLAN scale 1:1250**

**ALL MATERIALS TO MATCH EXISTING**

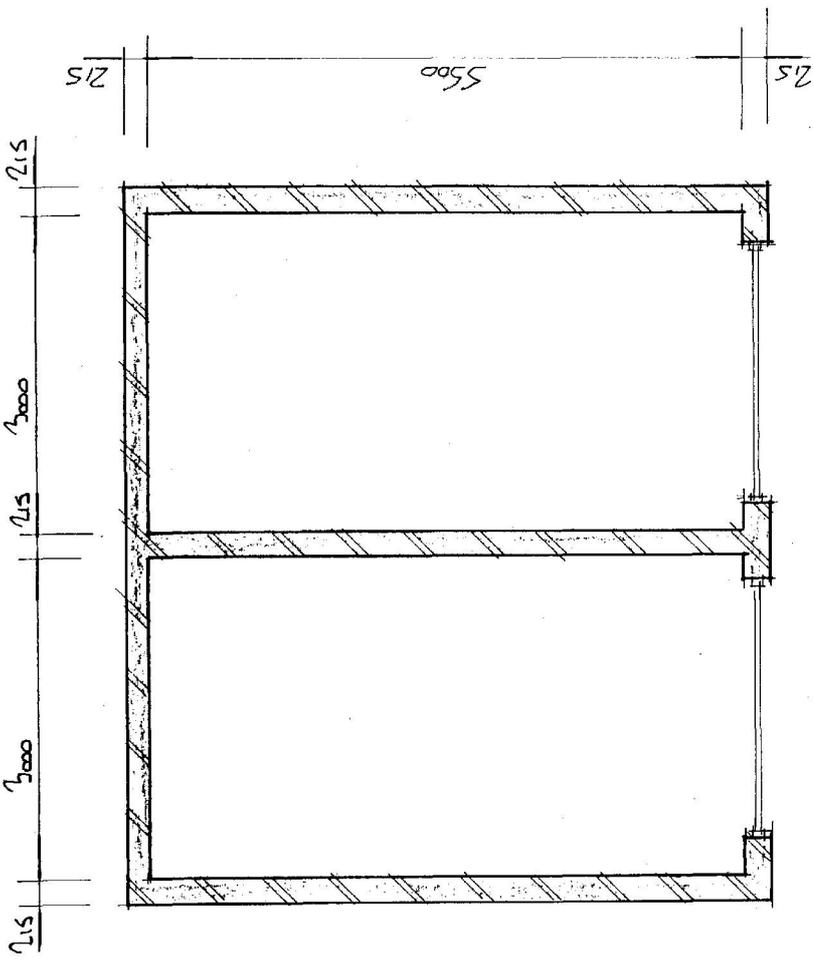


**SIDE ELEVATION**

**SIDE ELEVATION**

**REAR ELEVATION**

2010/171



THIS DRAWING TO BE  
 USED IN CONNECTIONS  
 WITH Dwg No. 1318101

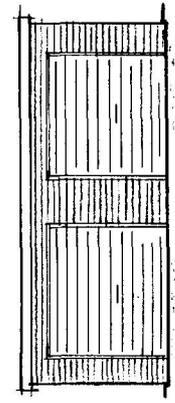
**AMENDED  
 PLAN**

LON BORO OF HILLINGTON  
 RECEIVED  
 31 MAY 2010  
 PLANNING & TRANSPORTATION  
 GROUP

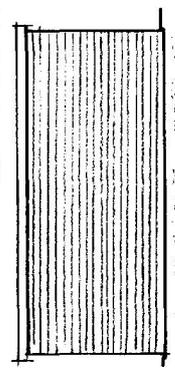
Plans - Scale 1:50.

Scale 1:100.

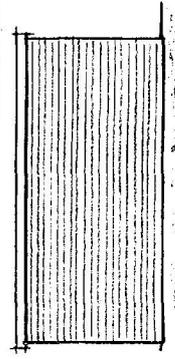
Scale Proportionally To All Elevations



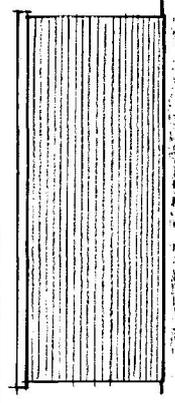
FRONT ELEVATIONS



SIDE ELEVATIONS

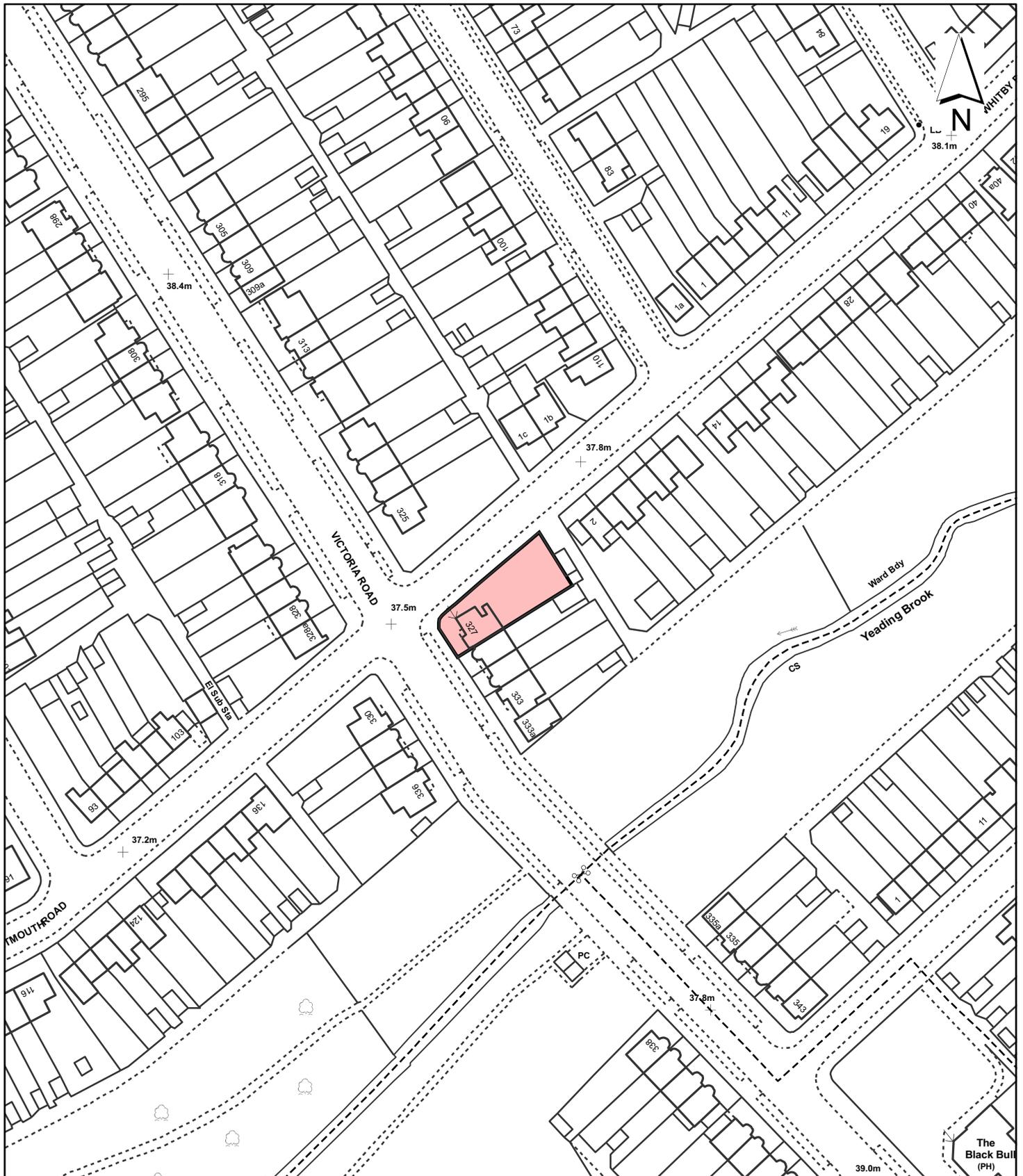


SIDE ELEVATION



REAR ELEVATIONS

NOTES:  All dimensions must be checked on site and not scaled from this drawing.	Client <b>MR J. CLAWSON</b>	Scale <b>1:50. 100.</b>	Drawing Title <b>PROPOSED DETACHED GARAGES</b>
	Job Title <b>327 WICKHAM ROAD          SOUTH WICKHAM</b>	Drawn by <b>CEP</b>	Drg No. <b>1318103</b>
GEDDIE & CO Site B. 175 WINDY WAY DUNDEE WAVERLEY HIGHLANDS	Tel: 01895. 622800 Fax: 01895. 622900	Date <b>MAY 2010</b>	Rev 



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown Copyright. All rights reserved. London Borough of Hillingdon 100019283 2009</p>	<p>Site Address</p> <p><b>Land forming part of 327 Victoria Road Ruislip</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>Planning &amp; Community Services</b></p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>54831/APP/2010/171</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	 <p><b>HILLINGDON</b> LONDON</p>
	<p>Planning Committee</p> <p><b>North</b> Page 377</p>	<p>Date</p> <p><b>July 2010</b></p>	

**Report of the Head of Planning & Enforcement Services**

**Address** 20 JOEL STREET NORTHWOOD

**Development:** Change of use from retail (Class A1) to cafe (Class A3)

**LBH Ref Nos:** 66826/APP/2010/358

**Date Plans Received:** 23/02/2010

**Date(s) of Amendment(s):**

**Date Application Valid:** 18/03/2010



Existing Front Elevation

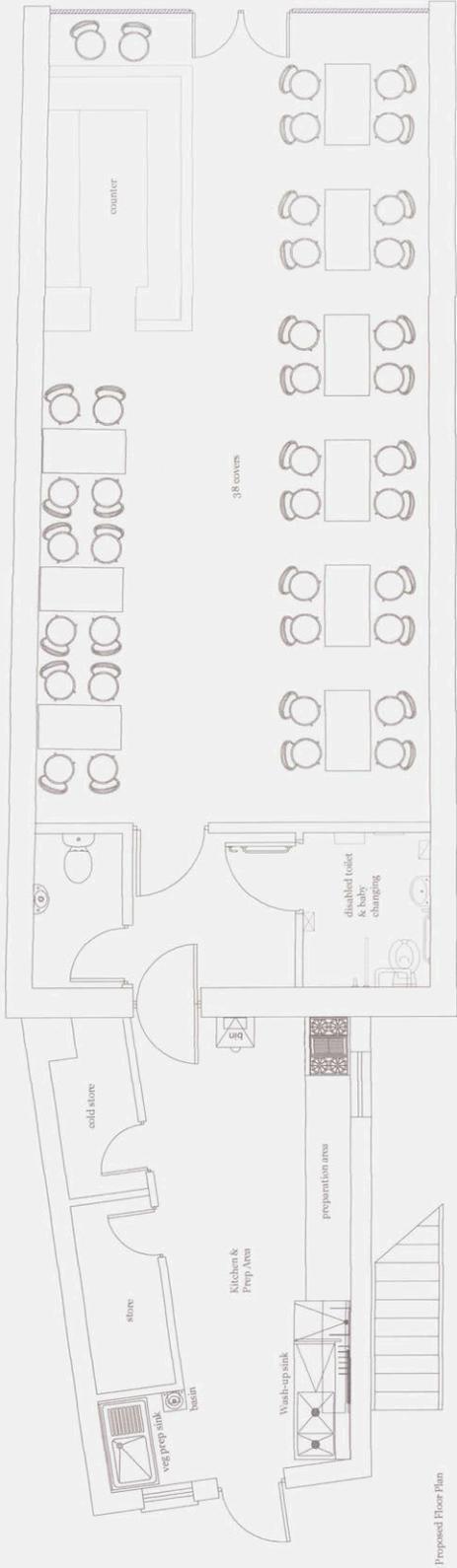
LOW BOARD OF HILLINGDON  
RECEIVED  
23 FEB 2010  
PLANNING & TRANSPORTATION  
GROUP



Existing Floor Plan

Rev	Date	Revision	Dwg No.	Rev
		Existing Floor Plan & Elevation	01	
		Scale 1:100	Job No. 290203	
		Dm. by: CF		
		Chkd. by: TF		
		Client	Fernanda Santos	
		Project	20 The Broadway Northwood	
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			CONSULTING STRUCTURAL ENGINEERS	
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			info@tfengineers.co.uk	





Broadway

Proposed Floor Plan



Proposed Front Elevation



Proposed Part Section Through Entrance

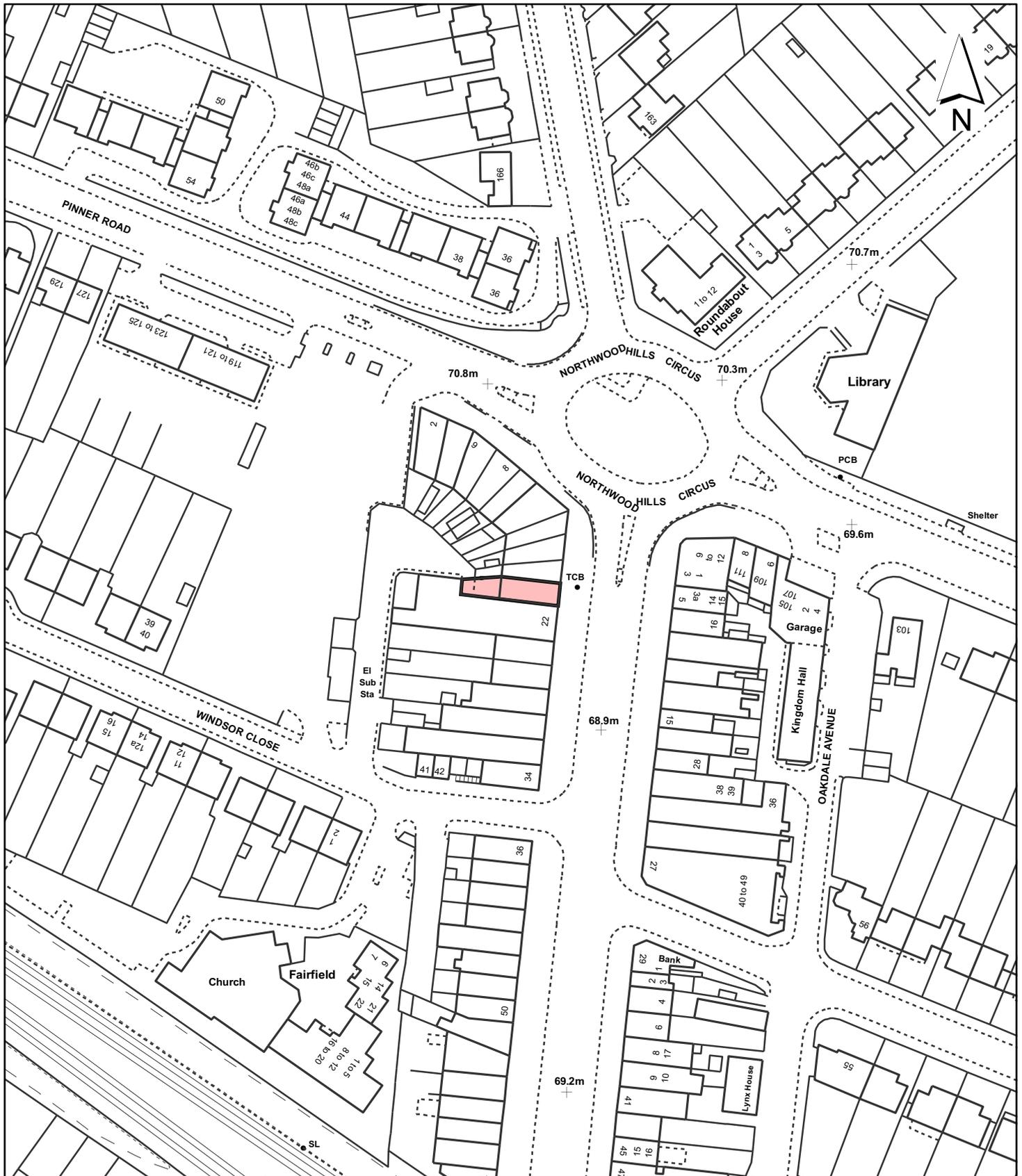


Block Plan 1590

Rev.	Date	Revision
		Proposed Floor Plan & Elevation
		Drwg. No. 02
		Job No. 290203
		Scale 1:50 @ A2
		1:100 @ A4
		Drn. by: CF
		Chkd. by: TF
		Client: Fernanda Santos
		Project: 20 The Broadway Northwood

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**Notes**

 Site boundary

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Site Address	
<b>20 Joel Street Northwood</b>	
Planning Application Ref:	Scale
<b>66826/APP/2010/358</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 381	<b>June 2010</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Planning &  
Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
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